



P.O. BOX 850 | COWETA, OKLAHOMA 74429 | PH. (918) 486-2189 | FAX (918) 486-5366 | www.cityofcoweta-ok.gov

**AGENDA - REGULAR MEETING
COWETA BOARD OF ADJUSTMENT
COWETA CITY HALL, 310 S. BROADWAY
IMMEDIATELY FOLLOWING THE MEETING OF
THE COWETA PLANNING COMMISSION
MONDAY, APRIL 18, 2022, 6:00 PM**

I. CALL TO ORDER

II. ROLL CALL

Melanie Lander ____

Jessica Morris ____

Jennifer Taylor ____

Carter Mathews ____

Joanna Jones ____

III. CONSENT

(All matters under the "Consent Calendar" are considered by the Board of Adjustment to be routine and will be enacted by one motion. Any Member may, however, remove an item from consent by request.)

1. MINUTES OF THE REGULAR MEETING

APPROVAL OF THE MINUTES OF THE COWETA BOARD OF ADJUSTMENT REGULAR MEETING
HELD ON FEBRUARY 22, 2022.

Documents:

[220222 MINUTES OF THE BOARD OF ADJUSTMENT.PDF](#)

IV. PUBLIC HEARINGS

1. PUBLIC HEARING - CBOA 22-04

PUBLIC HEARING TO RECEIVE PUBLIC COMMENT ON CBOA 22-04, A REQUEST FOR A VARIANCE OF SECTION 240.2 (E) (4) AND SPECIAL EXCEPTION OF THE COWETA ZONING CODE SECTION 240.2 (E) (3), AND (5) FOR PROPERTY ZONED RESIDENTIAL SINGLE-FAMILY (RS-2) AND LOCATED AT 711 NORTH OLD MAIN STREET, IN SECTION 13, TOWNSHIP 17 NORTH, RANGE 15 EAST OF THE INDIAN BASE AND MERIDIAN, WAGONER COUNTY, STATE OF OKLAHOMA.

Documents:

[CBOA 22-04 AERIAL VIEW MAP WITH FLOODPLAIN.PDF](#)

[CBOA 22-04 LOCATION MAP.PDF](#)
[CBOA 22-04 ZONING MAP.PDF](#)
[CBOA 22-04 SURVEY AND SITE PLAN.PDF](#)
[CARRIAGE CROSSING EST A.PDF](#)
[DOC058.PDF](#)
[DOC059.PDF](#)
[DOC060.PDF](#)
[DOC061.PDF](#)

V. OLD BUSINESS

1. CBOA 22-04 SPECIAL EXCEPTION

DISCUSSION AND POSSIBLE ACTION INCLUDING APPROVAL, APPROVAL WITH CONDITIONS, OR DENIAL OF CBOA 22-04, A REQUEST FOR A FOR A SPECIAL EXCEPTION OF THE COWETA ZONING CODE SECTION 240.2 (E) (3), and (5), FOR PROPERTY ZONED RESIDENTIAL SINGLE-FAMILY (RS-2) AND LOCATED AT 711 NORTH OLD MAIN STREET, IN SECTION 13, TOWNSHIP 17 NORTH, RANGE 15 EAST OF THE INDIAN BASE AND MERIDIAN, WAGONER COUNTY, STATE OF OKLAHOMA.

Documents:

[220418 STAFF REPORT CBOA 22-04.PDF](#)
[CARRIAGE CROSSING EST A.PDF](#)
[CBOA 22-04 AERIAL VIEW MAP WITH FLOODPLAIN.PDF](#)
[CBOA 22-04 LOCATION MAP.PDF](#)
[CBOA 22-04 ZONING MAP.PDF](#)
[CBOA 22-04 SURVEY AND SITE PLAN.PDF](#)
[DOC058.PDF](#)
[DOC059.PDF](#)
[DOC060.PDF](#)
[DOC061.PDF](#)

2. CBOA 22-04 VARIANCE

DISCUSSION AND POSSIBLE ACTION INCLUDING APPROVAL, APPROVAL WITH CONDITIONS, OR DENIAL OF CBOA 22-04, A REQUEST FOR A VARIANCE FROM SECTION 240.2 (E) (4) OF THE COWETA ZONING CODE FOR PROPERTY ZONED RESIDENTIAL SINGLE-FAMILY (RS-2) AND LOCATED AT 711 NORTH OLD MAIN STREET, IN SECTION 13, TOWNSHIP 17 NORTH, RANGE 15 EAST OF THE INDIAN BASE AND MERIDIAN, WAGONER COUNTY, STATE OF OKLAHOMA.

Documents:

[220418 STAFF REPORT CBOA 22-04.PDF](#)
[CARRIAGE CROSSING EST A.PDF](#)
[CBOA 22-04 AERIAL VIEW MAP WITH FLOODPLAIN.PDF](#)
[CBOA 22-04 LOCATION MAP.PDF](#)
[CBOA 22-04 ZONING MAP.PDF](#)
[CBOA 22-04 SURVEY AND SITE PLAN.PDF](#)
[DOC058.PDF](#)
[DOC059.PDF](#)
[DOC060.PDF](#)
[DOC061.PDF](#)

VI. NEW BUSINESS

VII. ADJOURNMENT

IF YOU REQUIRE A SPECIAL ACCOMMODATION PURSUANT TO THE AMERICANS WITH DISABILITIES ACT, PLEASE NOTIFY CITY HALL BY 9:00 A.M. ON THE DATE OF THE MEETING.



**MINUTES
COWETA BOARD OF ADJUSTMENT
COWETA CITY HALL, 310 S. BROADWAY
MONDAY, FEBRUARY 22, 2022**

I. CALL TO ORDER

Board Member Melanie Lander called the meeting to order at 6:00 p.m.

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

Carter Mathews	Present
Kathy Sloat-Ahlstrom	Absent
Jessica Morris	Absent
Joanna Jones	Present
Melanie Lander	Present

Board Member Melanie Lander requested that the roll be called, and a quorum was declared to be present.

IV. CONSENT

1. Consideration of the minutes of the regular meeting of January 17, 2022.

Motion was made by Board Member Carter Mathews to approve Consent Agenda. That motion was seconded by Board Member Joanna Jones

Motion passed by a vote of 3-0 with the following votes cast:

Carter Mathews	Yes – to approve
Kathy Sloat-Ahlstrom	Not Present
Jessica Morris	Not Present
Joanna Jones	Yes – to approve
Melanie Lander	Yes – to approve

V. PUBLIC HEARINGS

1. Public Hearing – CBOA 22-03

Public hearing to receive public comment on CBOA 22-03, a request for a variance from Section 450 (A) of the Coweta Zoning Code pertaining to front yard requirements on property zoned Residential Single-Family (RS-3) and located at 28780 East 152nd Street South in Section 18, Township 17 North, Range 16 East of the Indian Base and Meridian, Wagoner County, Oklahoma.

Board Member Melanie Lander read the agenda item. The applicants, Julius and Kimberly Patton, were present for this meeting. Mr. Patton came forward and presented information on the reason for the variance request. The floor was opened for public comment. There were no public comments. The public hearing for this item was closed.

VI. OLD BUSINESS

1. CBOA 22-03

Discussion and possible action including approval, approval with conditions, or denial of CBOA 22-03, a request for a variance from Section 450 (A) of the Coweta Zoning Code pertaining to front yard requirements on property zoned Residential Single-Family (RS-3) and located at 28780 East 152nd Street South in Section 18, Township 17 North, Range 16 East of the Indian Base and Meridian, Wagoner County, Oklahoma.

Board Member Melanie Lander read the agenda item. There were no comments or questions from the Board Members.

Board Member Carter Mathews made a motion to approve the variance. Board Member Joanna Jones seconded that motion.

The motion passed by a vote of 3-0 with the following votes cast:

Carter Mathews	Yes – to approve
Kathy Sloat-Ahlstrom	Not Present
Jessica Morris	Not Present
Joanna Jones	Yes – to approve
Melanie Lander	Yes – to approve

VII. NEW BUSINESS

VIII. ADJOURNMENT

Board Member Melanie Lander moved that the Coweta Board of Adjustment meeting be adjourned. There were no objections. The meeting was adjourned at 6:07 p.m.

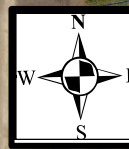
Approved:

Chairperson

Secretary

Date

CBOA 22-04 SPECIAL EXCEPTION SECTION 240.2 (e) (5)



15E17N12

16E17N7

141st

292nd East

293rd East

SUBJECT PROPERTY

Dogwood

Dogwood

Dogwood

Bixby

Redwood

Redwood

Redwood

15E17N13

16E17N18

Magnolia

Magnolia

Division

Bristow

Bristow

Birch

Birch

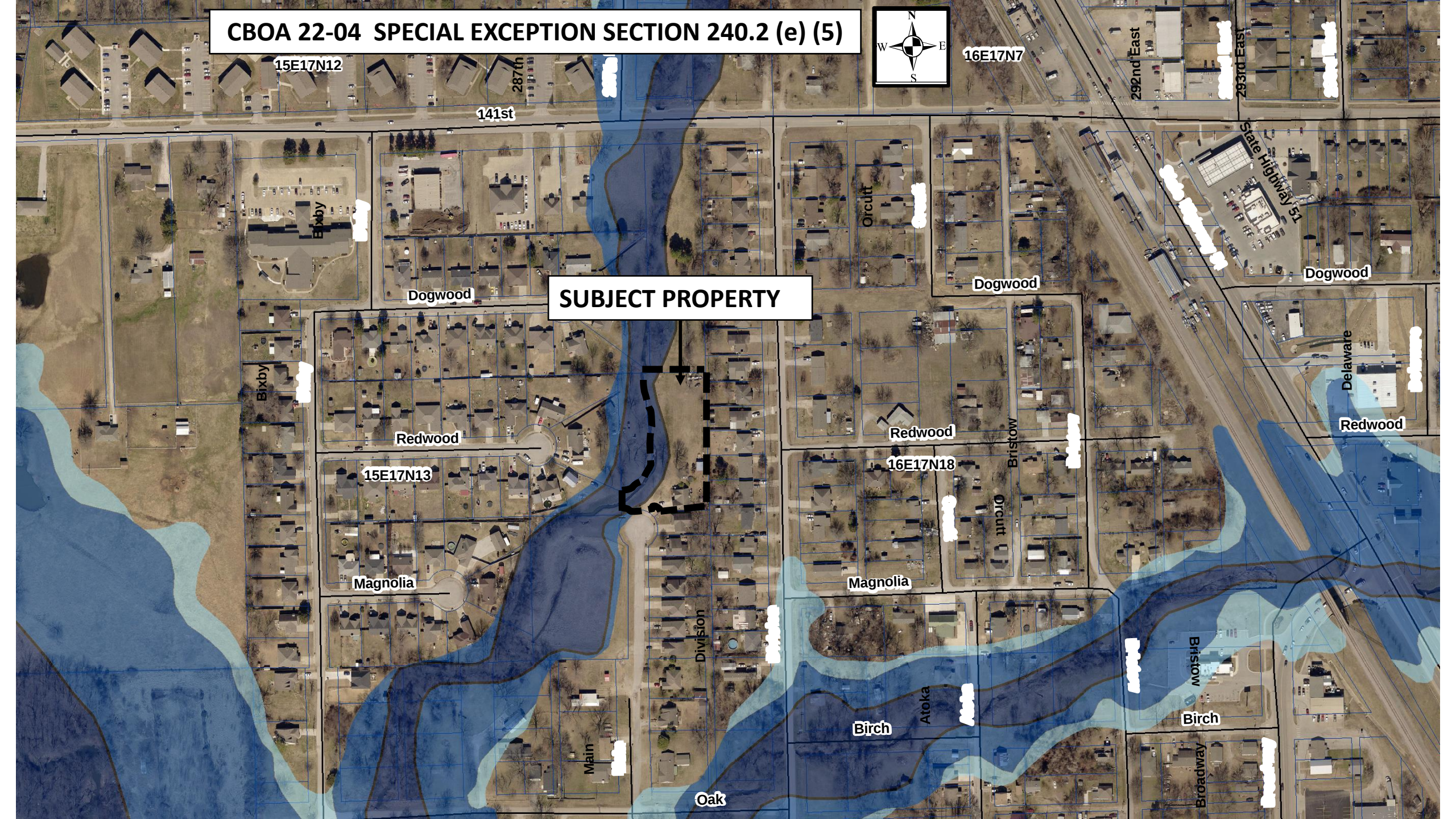
Atoka

Main

Oak

Broadway

Delaware



CBOA 22-04 SPECIAL EXCEPTION SECTION 240.2 (e) (5)



15E17N12

Country Village IV

Country Village

287th

16E17N7

Albert Claxton Add.

141st

Bixby

Johnson Addition I

Dogwood

SUBJECT PROPERTY

Trapp Addition

Carriage Crossing Estates

Redwood

15E17N13

Carriage Crossing "A"

Magnolia

Division

Orcutt

Dogwood

Bristow

Orcutt Addition

Redwood

16E17N18

Orcutt

Magnolia

Birch

Atoka

Birch

Bristow

Broadway

Main

Oak

State Highway 51

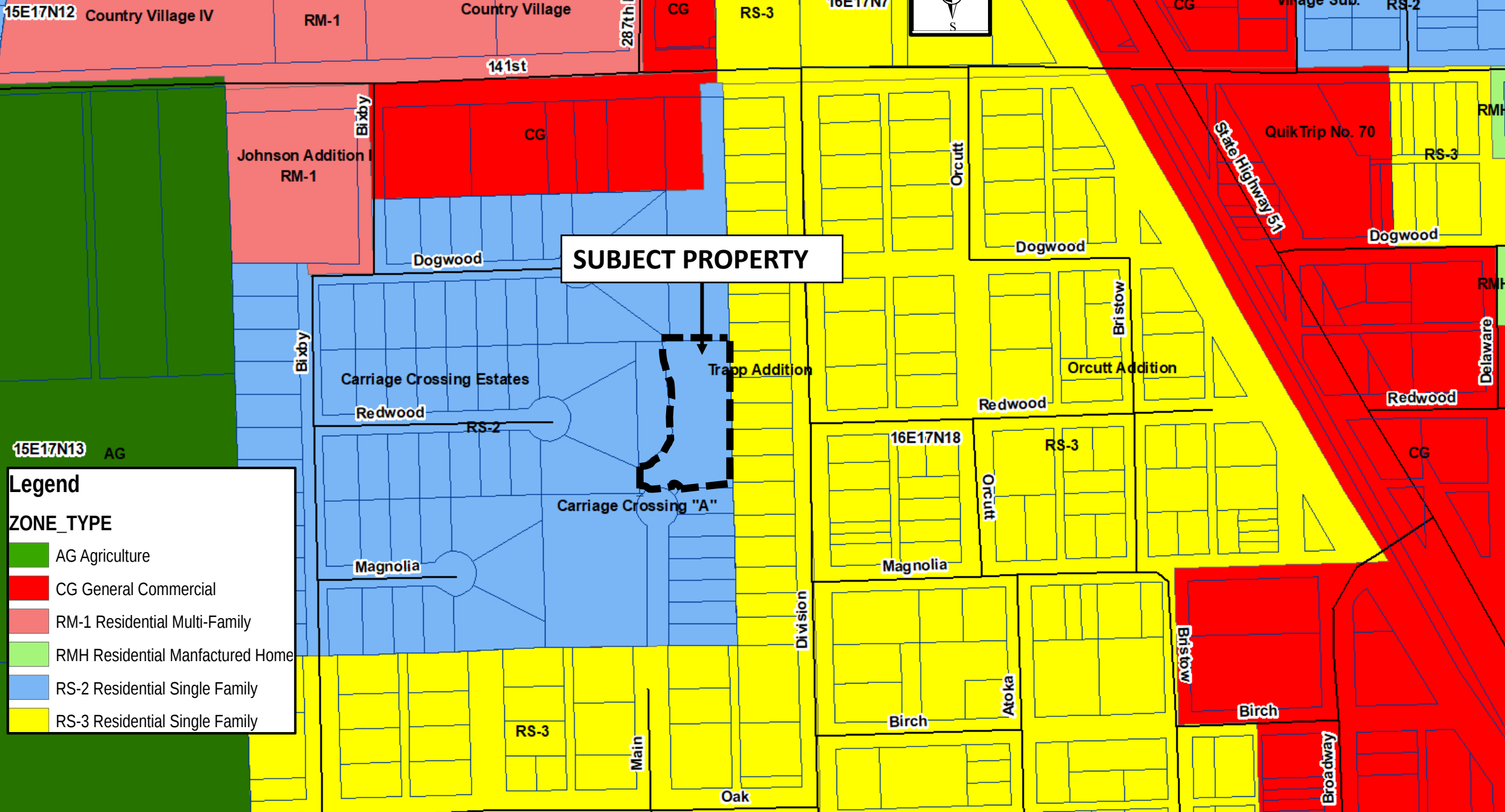
QuikTrip No. 70

Dogwood

Delaware

Redwood

CBOA 22-04 SPECIAL EXCEPTION SECTION 240.2 (e) (5)



Legend

ZONE_TYPE

- AG Agriculture
- CG General Commercial
- RM-1 Residential Multi-Family
- RMH Residential Manufactured Home
- RS-2 Residential Single Family
- RS-3 Residential Single Family

THIS TRACT IS IN FLOOD ZONE A3 THAT HAS BEEN CHANNELIZED AND REVISED TO REFLECT
LETTER OF MAP REVISION DATED MARCH 10,2000 OF F.I.R.M. 400216 0001A

S 88°29'55"W 153.86'

BUYER : SERGEUI AND NATALYA BORISSENKA
606 NORTH MAIN STREET
COWETA, OKLAHOMA 74429

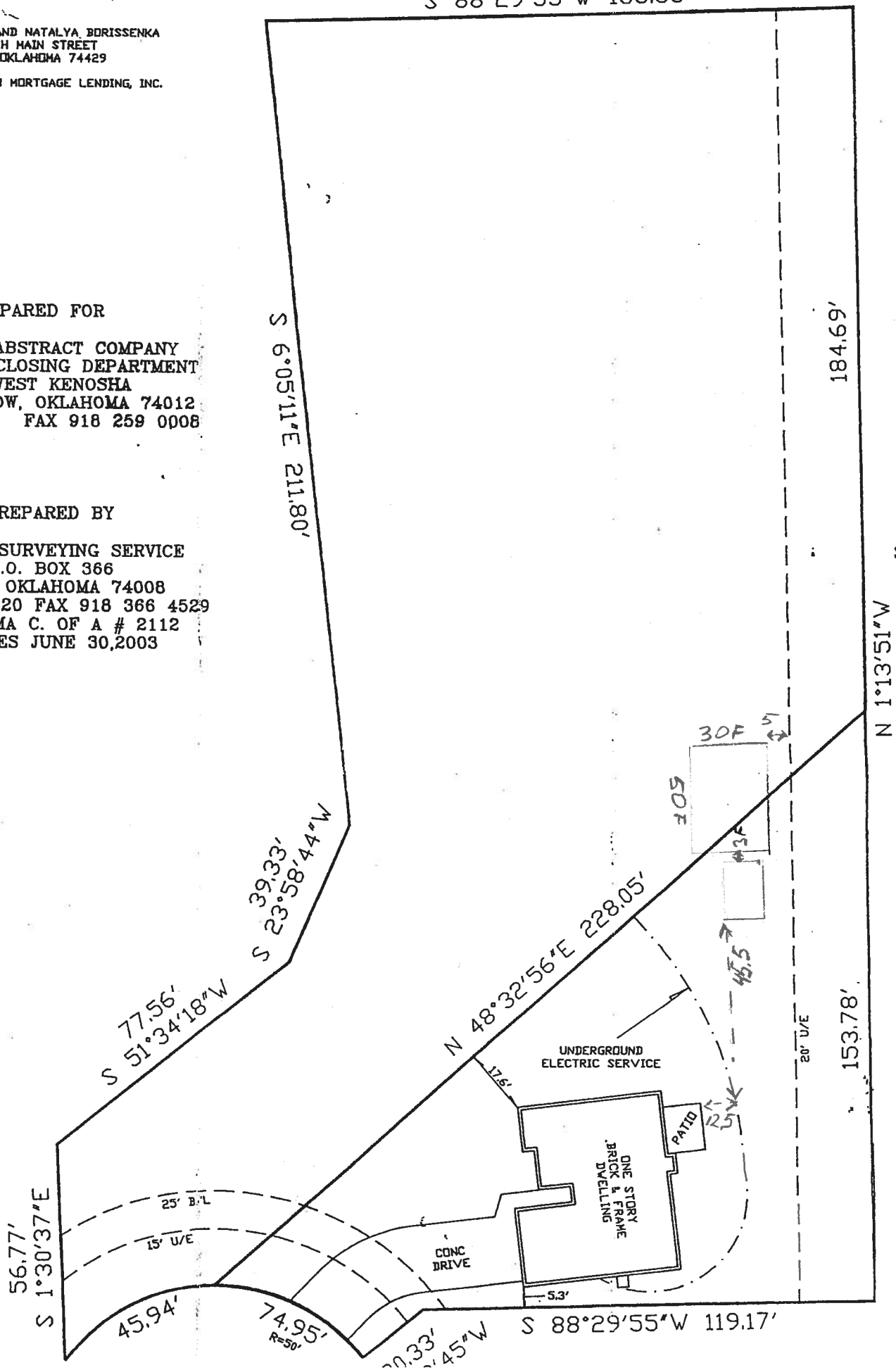
LENDER : AMERICAN MORTGAGE LENDING, INC.

PREPARED FOR

GUARANTY ABSTRACT COMPANY
RESIDENTIAL CLOSING DEPARTMENT
2604 WEST KENOSHA
BROKEN ARROW, OKLAHOMA 74012
918 259 0000 FAX 918 259 0008

PREPARED BY

RAMSEY SURVEYING SERVICE
P.O. BOX 366
BIXBY, OKLAHOMA 74008
918 366 4520 FAX 918 366 4529
OKLAHOMA C. OF A # 2112
EXPIRES JUNE 30,2003



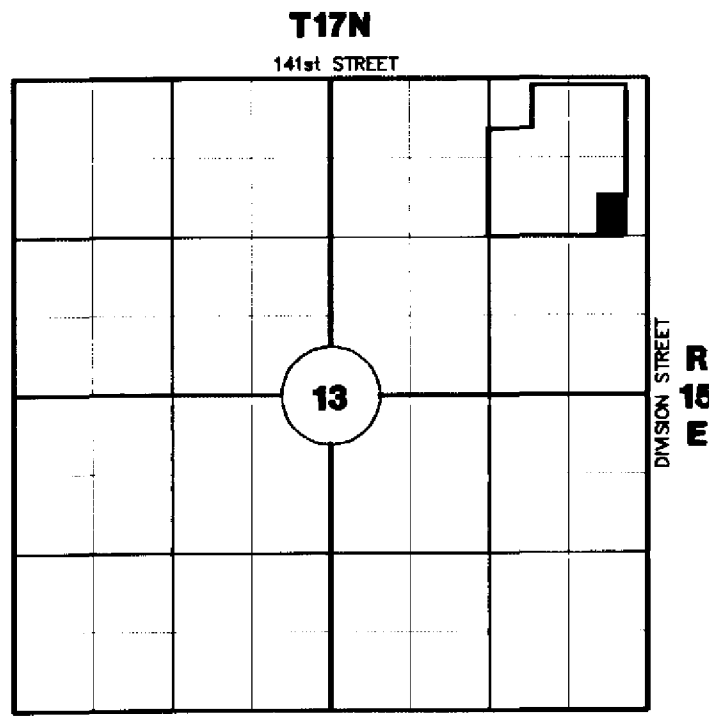
SCALE

DRAWN BY: B. BREWER DATE: 02/20/01
CHECKED BY: R. ENTZ FILE NAME: W0377BE

**FINAL
PLAT
OF
CARRIAGE CROSSING ESTATES 'A'**
**A REPLAT OF BLOCK 6
OF CARRIAGE CROSSING ESTATES
IN SECTION 13, T17N, R15E, IB&M
TO THE CITY OF COWETA
WAGONER COUNTY, OKLAHOMA**

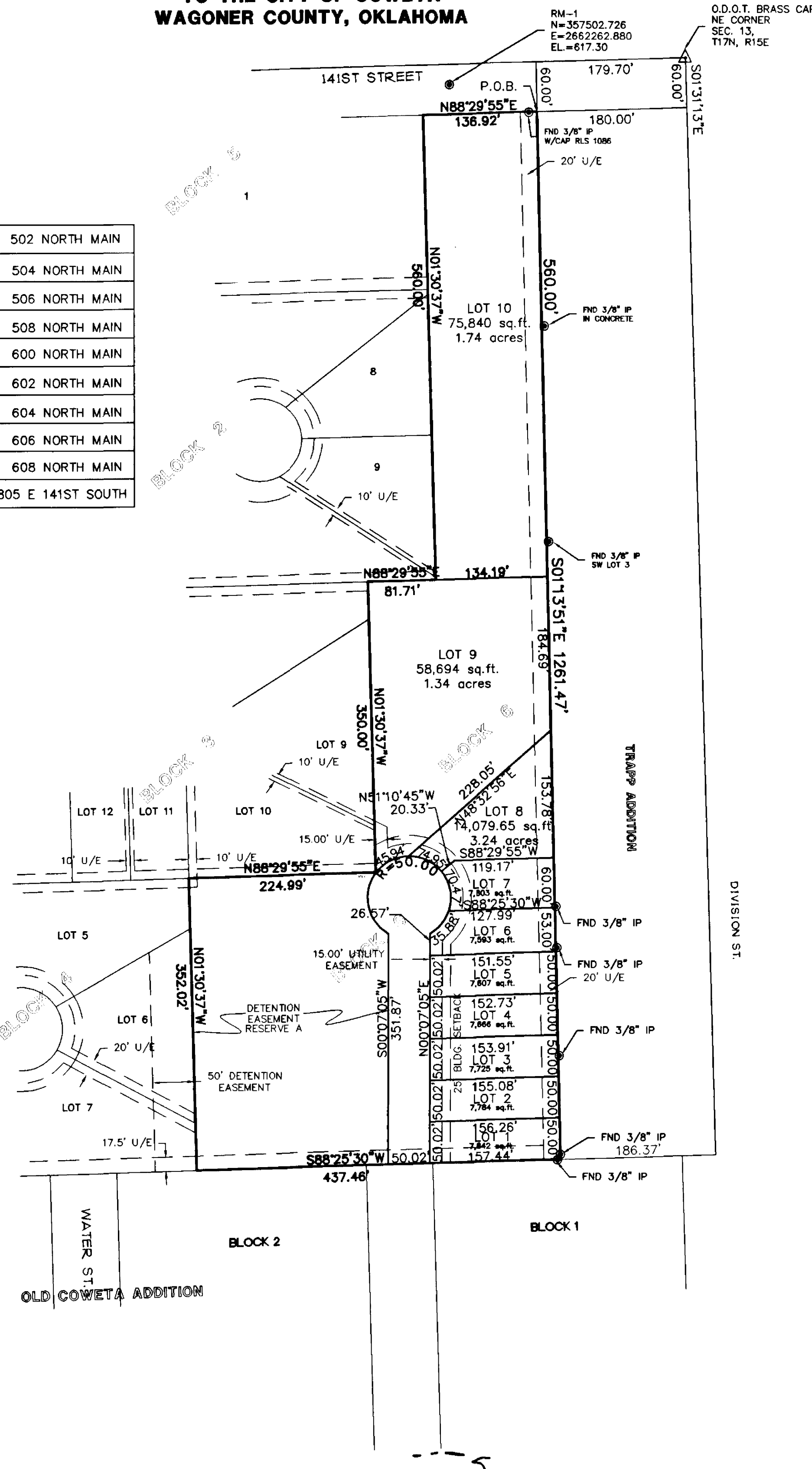
RESTRICTIVE COVENANT

- All lots shall be used for residential use only except Block 5
- All single family residences of one story in height shall have a minimum of 700 square feet of living area. All single family residences of one and one-half story or two story, shall have a minimum of 650 square feet on the first floor, with a minimum of 700 square feet on both floors. All square footage requirements are exclusive of garages and porches and are figured on measurements over masonry of the living area.
- No building or part thereof, except open porches and terraces, shall be constructed and maintained on any lot nearer to the front property line than the building line shown on the recorded plat of said addition; and no residence, garage, carport, or accessory building shall be built nearer than five feet to any side lot line on one side and 5.0 feet on the other side, this requiring a combined total of 10.0 feet between any structure and both side lot lines. Where side lot easements are shown greater than the foregoing, no encroachment shall be allowed on the easement.
- No structure previously used or erected shall be moved onto any lot.
- No prefabricated, pre-assembled or modular dwelling or structures shall be placed, erected or permitted to remain in said addition, except one accessory building not to exceed 80 square feet.
- All exposed foundations shall be of brick or stone. No concrete blocks, poured concrete or any other foundation will be exposed. No stem walls will be exposed. A minimum of 30% of the exterior wall surface of any residence shall be of brick or stone construction.
- No fence, whether ornamental or otherwise, shall be constructed or allowed to remain in front of the minimum building set-back line or be greater than six (6) feet in height, except for privacy screening adjacent to patios which may be seven (7) feet in height.
- Trucks with tonnage in excess of 34 tons shall not be permitted to park in the streets and no vehicle of any size, which normally transports inflammatory, explosive, or health hazardous cargo, may be kept in this subdivision at any time. No vehicle shall be permitted to be parked or repaired in a front yard. No campers or other recreational vehicles shall be parked on or any closer to the street than the front of the residence for a period which exceeds forty-eight (48) hours. All inoperative vehicles shall be kept in an enclosed garage and shall not be parked in the front yard or in the street.
- No structure of a temporary character, trailer, basement, tent, shack, garage, barn, or other outbuilding shall be used on any lot at any time as a residence either temporarily or permanently.
- No building material of any kind or character shall be placed or stored upon any lot for a period greater than thirty (30) days prior to the start of any construction, and at no time shall such material be placed outside the boundaries of the lot owner's ownership. The construction period of any residence, garage, carport, or accessory building shall be completed within nine (9) months. During the construction period, each building site shall be kept orderly and it shall be the responsibility of the lot owner to ensure that all rubbish and construction litter is contained and properly disposed of.
- No sign of any kind shall be displayed to the public view on any lot except one professional sign of not more than five (5) square feet advertising the property for sale, trade or loan, except those signs used by a builder of not more than thirty (30) square feet to advertise property during the construction and sales period and those used by the developer.
- No animals, livestock, or poultry of any kind shall be raised, bred or kept on any lot except that dogs, cats, or other household pets may be kept, provided that they are not kept, bred or maintained for any commercial purposes.
- No trash, ashes, or any other refuse, shall be placed in the open in the subdivision, or along any street therein or adjacent thereof, nor shall any trash or refuse receptacle be constructed or placed in such a manner that it can be seen from the street or adjacent properties. Any such receptacle shall be covered in such a manner to prevent the escape of noxious odors and prevent entrance and/or exit of insect or animal life. Grass, weeds and vegetation on each lot sold shall be kept mowed at regular intervals so as to maintain the same in a neat and attractive manner. Trees, shrubs, vines or plants which die shall be removed from the property.
- Street light poles or standards may be served by underground cable and elsewhere throughout said Addition all supply lines shall be located underground in the easement-ways reserved for general utility services and streets shown on the attached plat. Service pedestals and transformers, as sources of supply at secondary voltages, may also be located in said easement-ways.
- Underground service cables to all houses which may be located on all lots in said Addition may be run from the nearest service pedestal or transformer to the point of usage determined by the location and construction of such house as may be located upon each said lot; provided that upon the installation of such a service cable to a particular house, the supplier of electric service shall thereafter be deemed to have a definitive, permanent, effective and exclusive right-of-way easement on said lot, covering a five-foot strip extending 2.5 feet on each side of such service cable, extending from the service pedestal of transformer to the service entrance on said house.
- The supplier of electric and gas service, through its proper agents and employees shall at all times have right of access to all such easement-ways shown on said plat, or provided for in this Deed of Dedication for the purpose of installing, maintaining, removing or replacing any portion of said underground electric and gas facilities so installed by them.
- The owner of each lot shall be responsible for the protection of the underground electric and gas facilities located on his property and shall prevent the alteration of grade or any construction activity which may interfere with said facilities. Each company will be responsible for ordinary maintenance of underground electric and gas facilities, but the owner will pay for damage or relocation of such facilities caused or necessitated by acts of the owner or his agents or contractors.
- The foregoing covenants concerning underground electric and gas facilities shall be enforceable by the supplier of said services, and the owner of each lot agrees to be bound hereby.



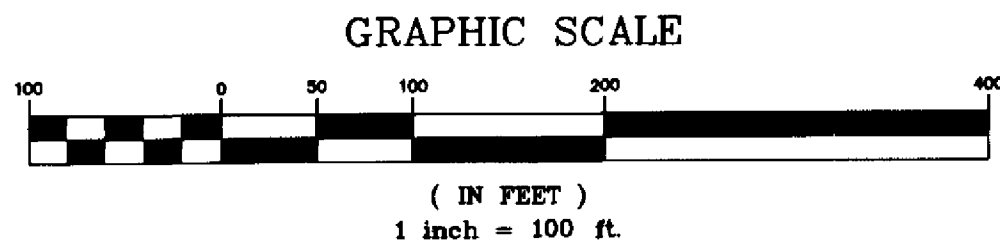
**LOCATION MAP
N.T.S.**

LOT 1	502 NORTH MAIN
LOT 2	504 NORTH MAIN
LOT 3	506 NORTH MAIN
LOT 4	508 NORTH MAIN
LOT 5	600 NORTH MAIN
LOT 6	602 NORTH MAIN
LOT 7	604 NORTH MAIN
LOT 8	606 NORTH MAIN
LOT 9	608 NORTH MAIN
LOT 10	28805 E 141ST SOUTH



**Entz
Engineering
and Associates, Inc.**
CA #535 (expires 6/30/01)

600 Emporia St., Ste. "C"
Muskogee, Oklahoma 74401
(918) 682-3832



HORIZONTAL DATUM IS BASED ON NAD 83(93) OKLAHOMA
STATE PLANE COORDINATE SYSTEM, NORTH ZONE.
VERTICAL DATUM IS BASED ON NGVD 88.
SCALE FACTOR: 0.9999410

OWNER'S CERTIFICATE AND DEDICATION

STATE OF OKLAHOMA)
COUNTY OF WAGONER)

KNOW ALL MEN BY THESE PRESENTS, that We, R & M Investments, Inc. a corporation hereby certify that We are the Owners of the and the persons having any right, title or interests to the following described tract of land, to-wit:

A Subdivision of Lot 1, Block 6, Carriage Crossing Estates, City of Coweta, Wagoner County, State of Oklahoma. Containing 7.01 acres, more or less.

We further certify that we have caused said tract of land to be replatted into lots and have caused this plat to be made of said tract showing accurate dimension of lots and streets. I hereby designate said tract of land as CARRIAGE CROSSING ESTATES "A" and dedicate to public use all streets and utility easements as shown hereon.

H. E. Reynolds, President
Arvil Morgan, Vice President

STATE OF OKLAHOMA
COUNTY OF WAGONER

Before me, the undersigned, a notary public in and for the County of Wagoner, State of Oklahoma, personally appeared H. E. Reynolds, to me known to be the identical person who executed the foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed for the purpose set forth.

WITNESS my hand and seal this 11th day of May, 2001.

Notary Public

My Commission expires: 3-3-2005

CERTIFICATE OF SURVEY

KNOW ALL MEN BY THESE PRESENTS, that I, Roy Entz, a resident of Muskogee County, State of Oklahoma, do hereby certify that I have carefully and accurately surveyed and replatted into lots the above described property and that this plat is a true and correct representation thereof, I further certify that this plat meets the minimum standards for the practice of land surveying.

WITNESS my hand and seal this 11th day of May, 2001.

Roy Entz, Land Surveyor #319
C.A. #535 expires 6/30/01

STATE OF OKLAHOMA
COUNTY OF MUSKOGEE

Before me, the undersigned, a notary public in and for the County of Muskogee, State of Oklahoma, personally appeared Roy Entz to me known to be the identical person who executed the foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed for the purpose therein set forth.

WITNESS my hand and seal this 6th day of April, 2001.

Notary Public

My Commission expires: 4-14-02

TREASURER'S CERTIFICATE

I hereby certify that as to all real estate involved in the plat, all taxes have been paid for 2000 as reflected by the current tax roll and that there are no taxes due for prior years, and security has been provided for 2001 taxes not as yet certified to me.

Mary Sue Suddens
County Treasurer

CERTIFICATE OF COUNTY CLERK

This plat has been filed in the office of the County Clerk, Wagoner County, Oklahoma, this 10th day of May, 2001. Book _____ Page _____

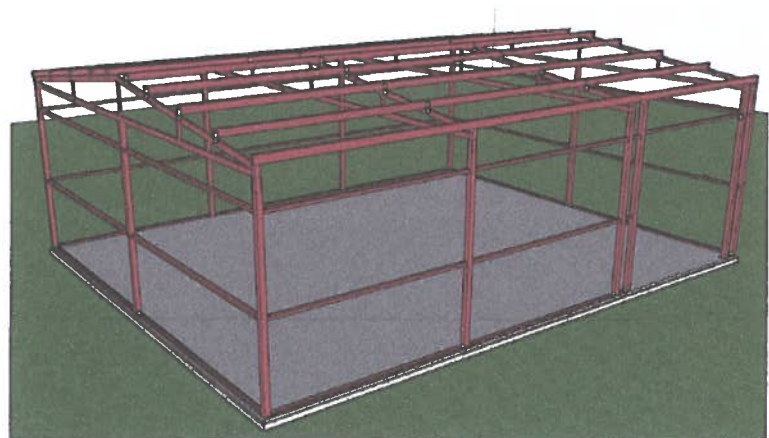
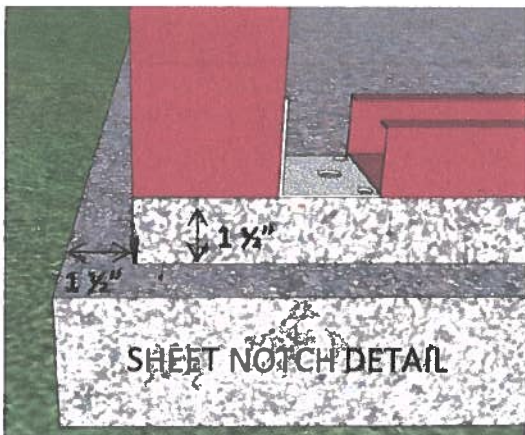
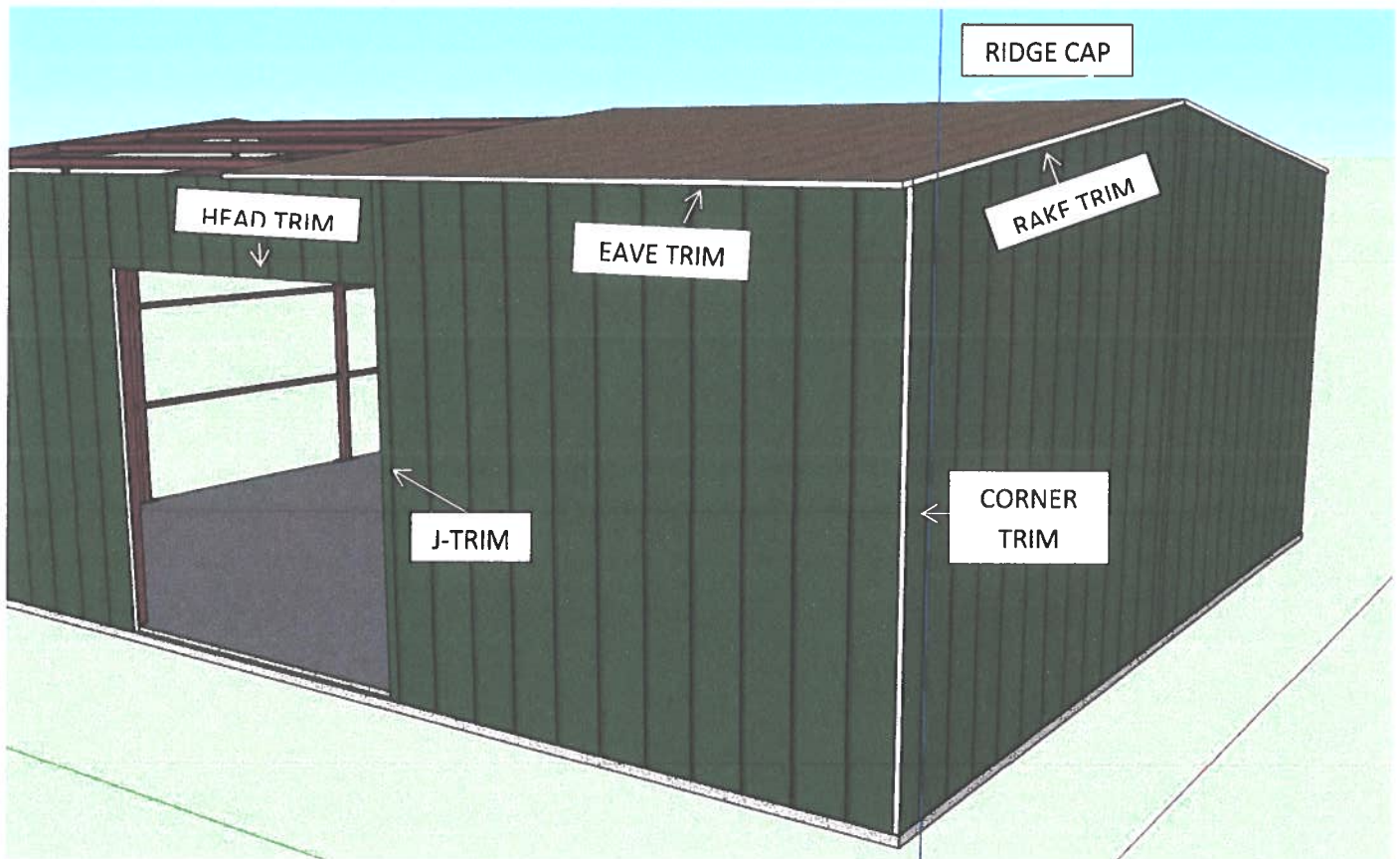
Jerry Fields
County Clerk

APPROVED: City of Coweta

Date 4-2-01

Mayor

City Clerk



Bright White

Polar White

Beige

Lightstone

Sahara Tan

Desert Beige

Emerald Green

Hawaiian Blue

Royal Blue

Patriot Red

Country Red

Burgundy

Cocoa Brown

Copper Metallic

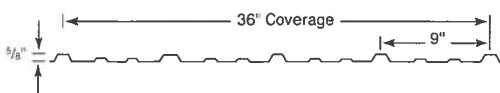
Steel Siding and Roofing produced by



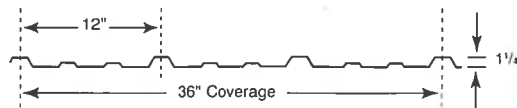
Springfield, MO
(417) 862-5291

Muskogee, OK
(918) 682-1083

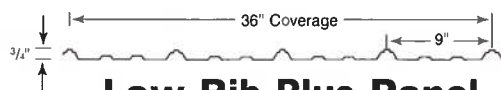
Rogers, AR
(479) 986-8736



Low-Rib Panel



R-Panel



Low-Rib Plus Panel

40
YEAR
PAINT WARRANTY

AkzoNobel

Ash Gray

Clay

Charcoal

Burnished Slate

Ebony Black



These colors are
only and may vary
actual material.
chips are available

Wheeler Metals

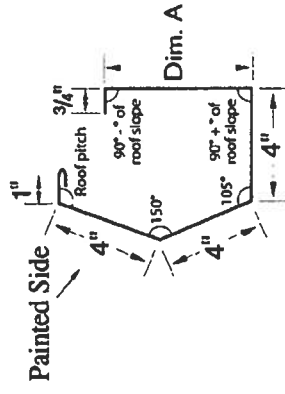
Springfield, MO
(417)862-5291

Muskogee, OK
(918)682-1083

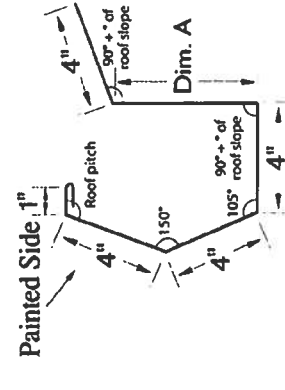
Rogers, AR
(479)986-8736

GUTTERS

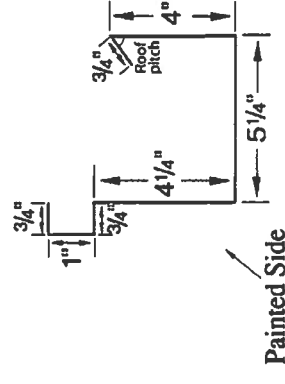
STANDARD GUTTER



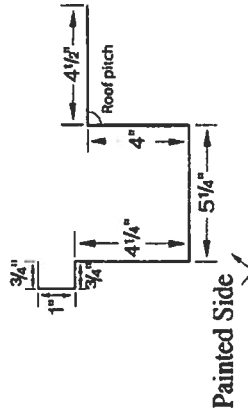
SCULPTURED GUTTER



BOX HANG-ON GUTTER



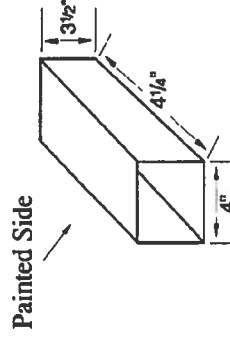
BOX EAVE GUTTER



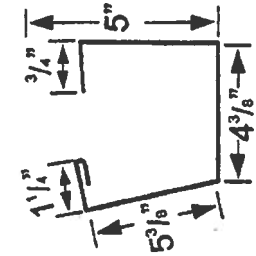
GUTTER STRAP



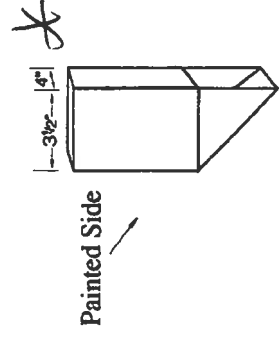
DOWNSPOUT W/O KICKOUT



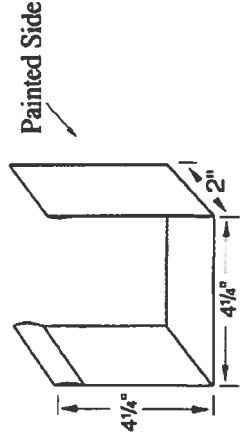
ECONOMY GUTTER



DOWNSPOUT WITH KICKOUT



DOWNSPOUT STRAP



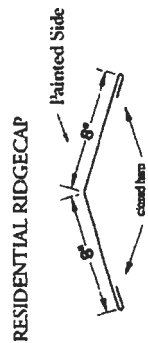
Wheeler Metals

Springfield, MO
(417)862-5291

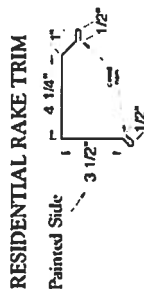
Muskogee, OK
(918)682-1083

Rogers, AR
(479)986-8736

LOW-RIB TRIMS



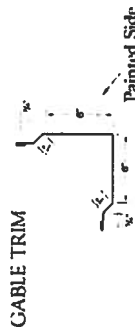
RESIDENTIAL RIDGECAP



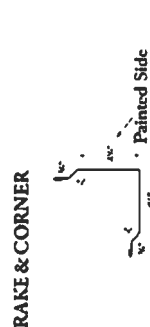
RESIDENTIAL RAKE TRIM



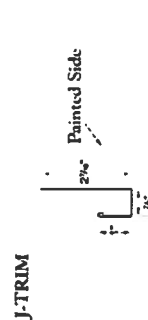
VALLEY



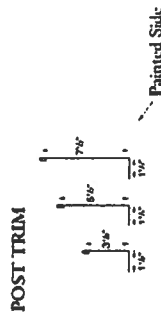
CABLE TRIM



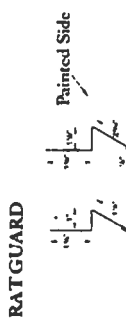
RAKE & CORNER



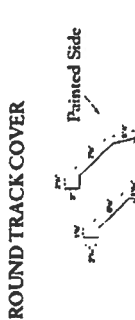
J-TRIM



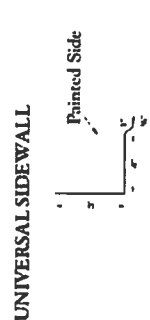
POST TRIM



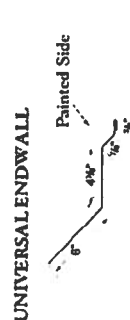
RAT GUARD



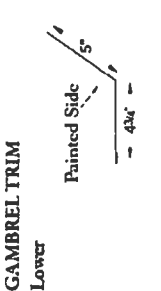
ROUND TRACK COVER



UNIVERSAL SIDEWALL



GAMBREL TRIM
Upper



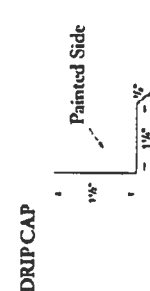
GAMBREL TRIM
Lower



FASCIA



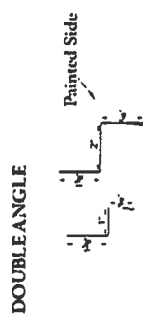
RESIDENTIAL EAVE TRIM



DRIP CAP



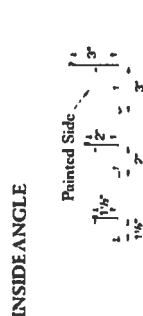
DOUBLE ANGLE



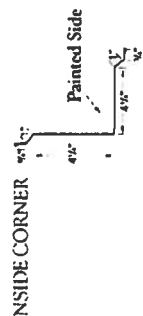
SINGLE ANGLE



INSIDE ANGLE



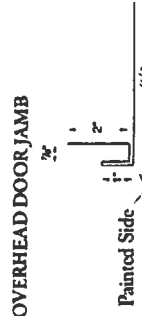
INSIDE CORNER



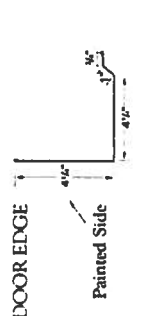
DOOR POST TRIM



OVERHEAD DOOR JAMB

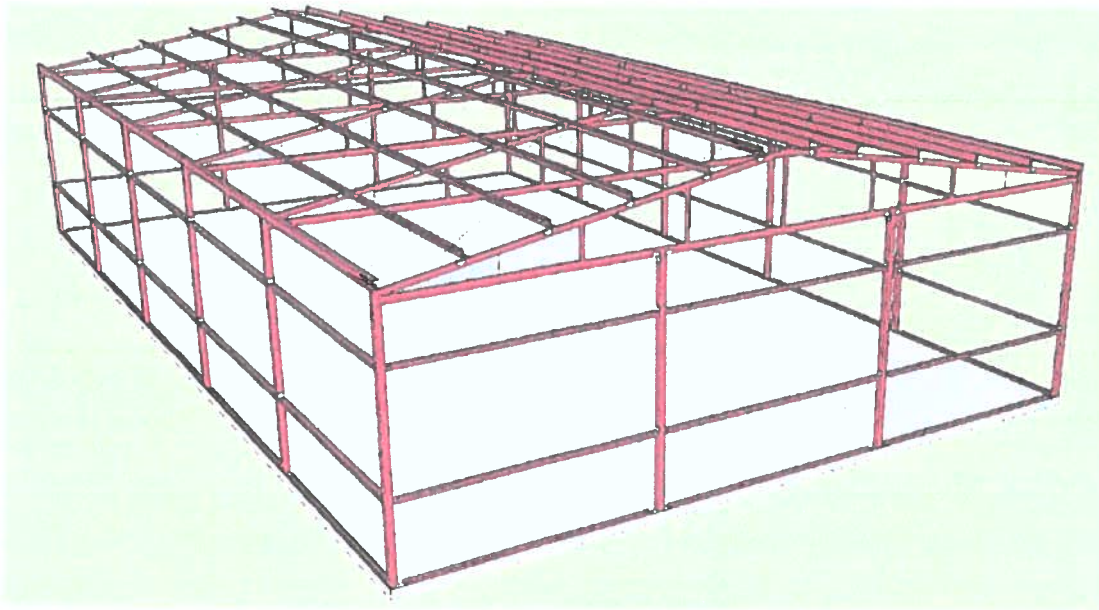


DOOR EDGE





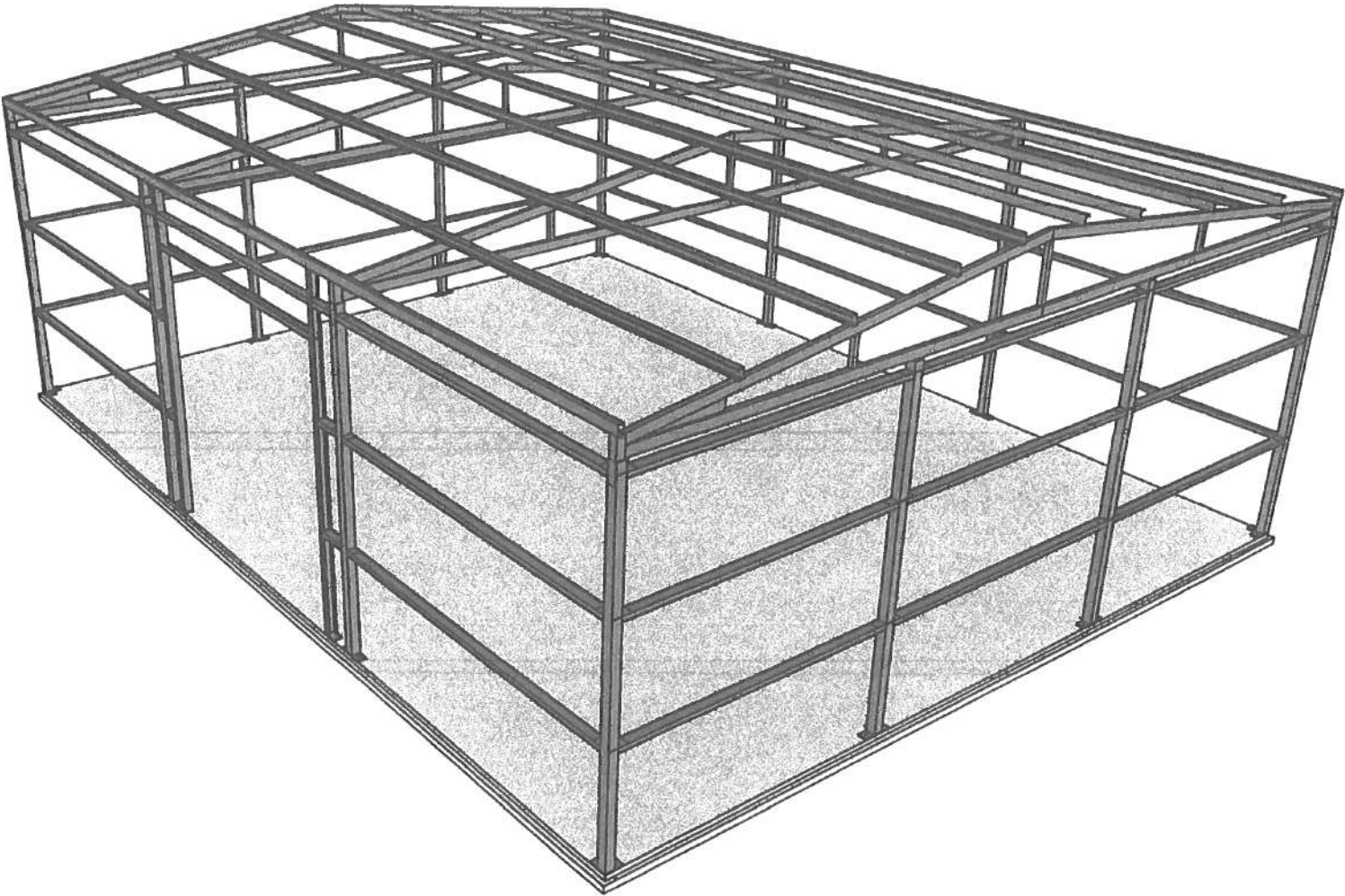
EZ TRUSS STYLE KITS



30x50

-NON ENGINEERED-

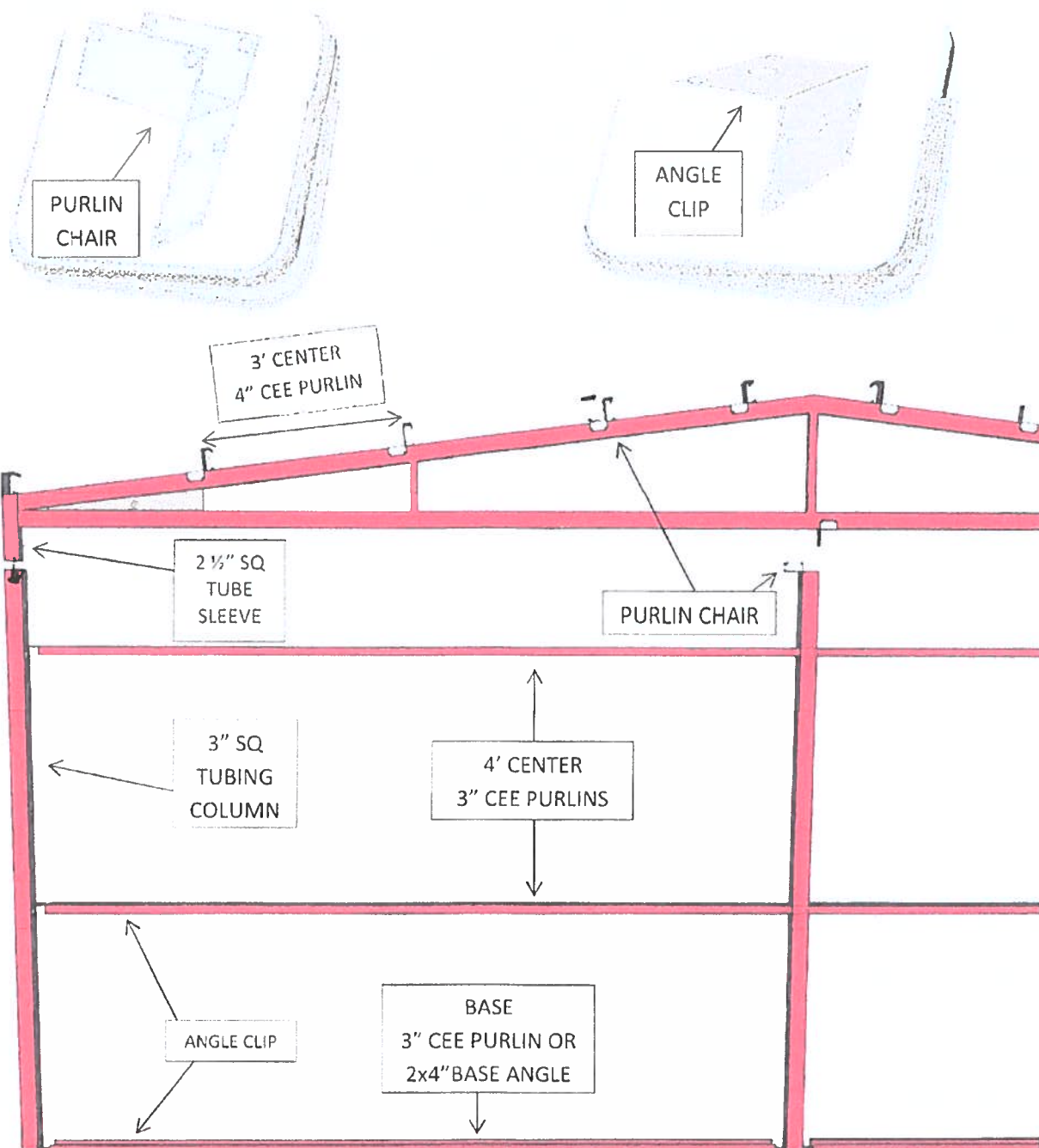
WELD UP, SCREW TOGETHER BUILDING PACKAGES

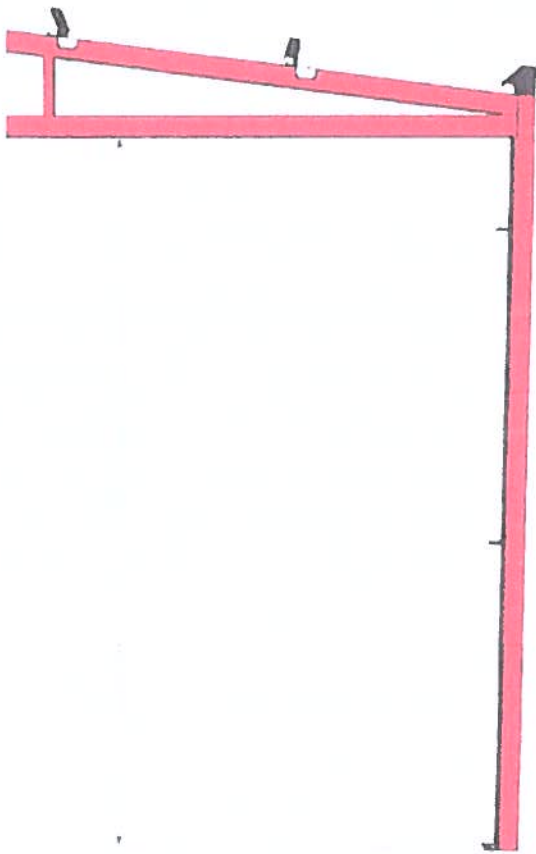




TRUSS STYLE BUILDING

WELD UP OR SCREW TOGETHER KITS



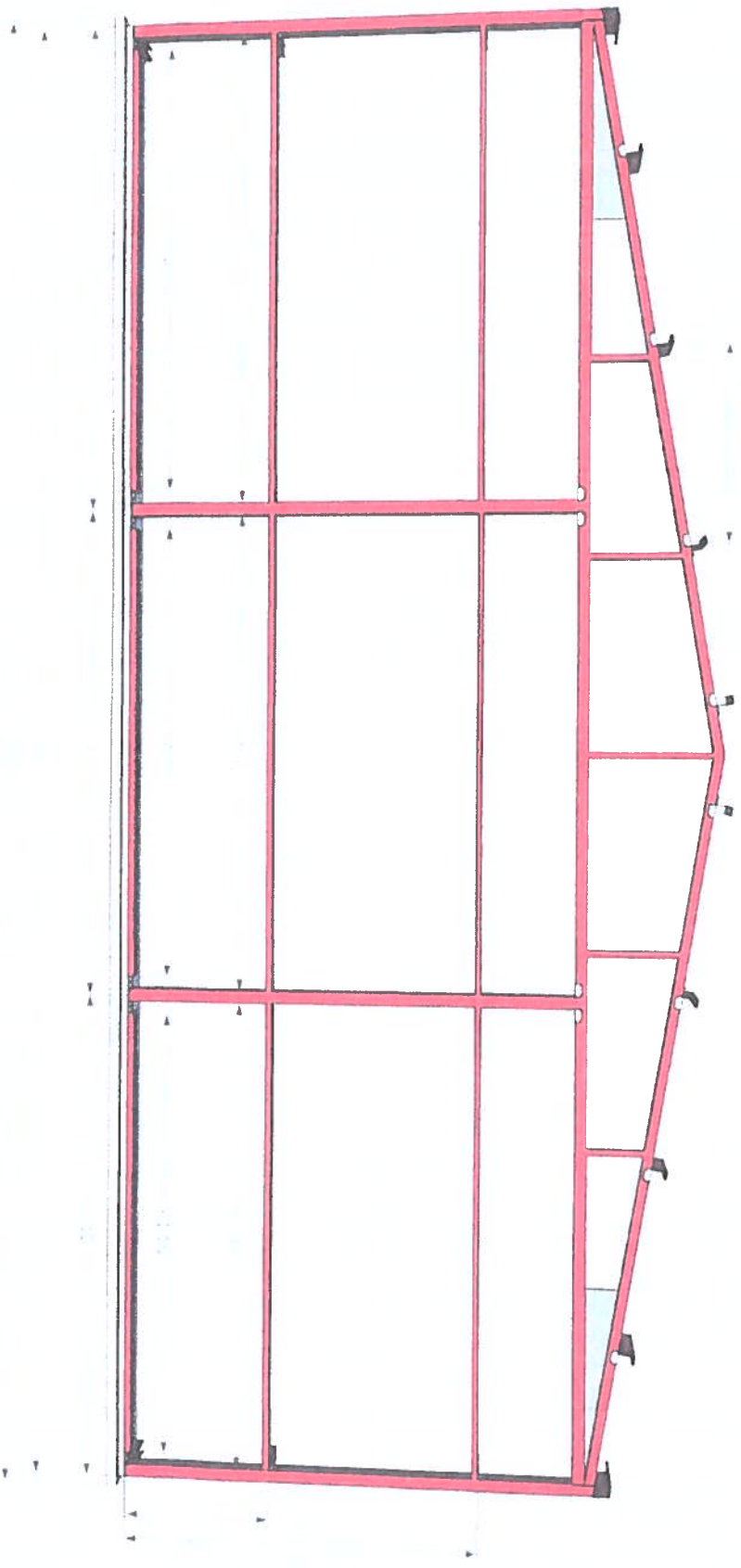


TRUSS STYLE POST CUT DIAGRAM

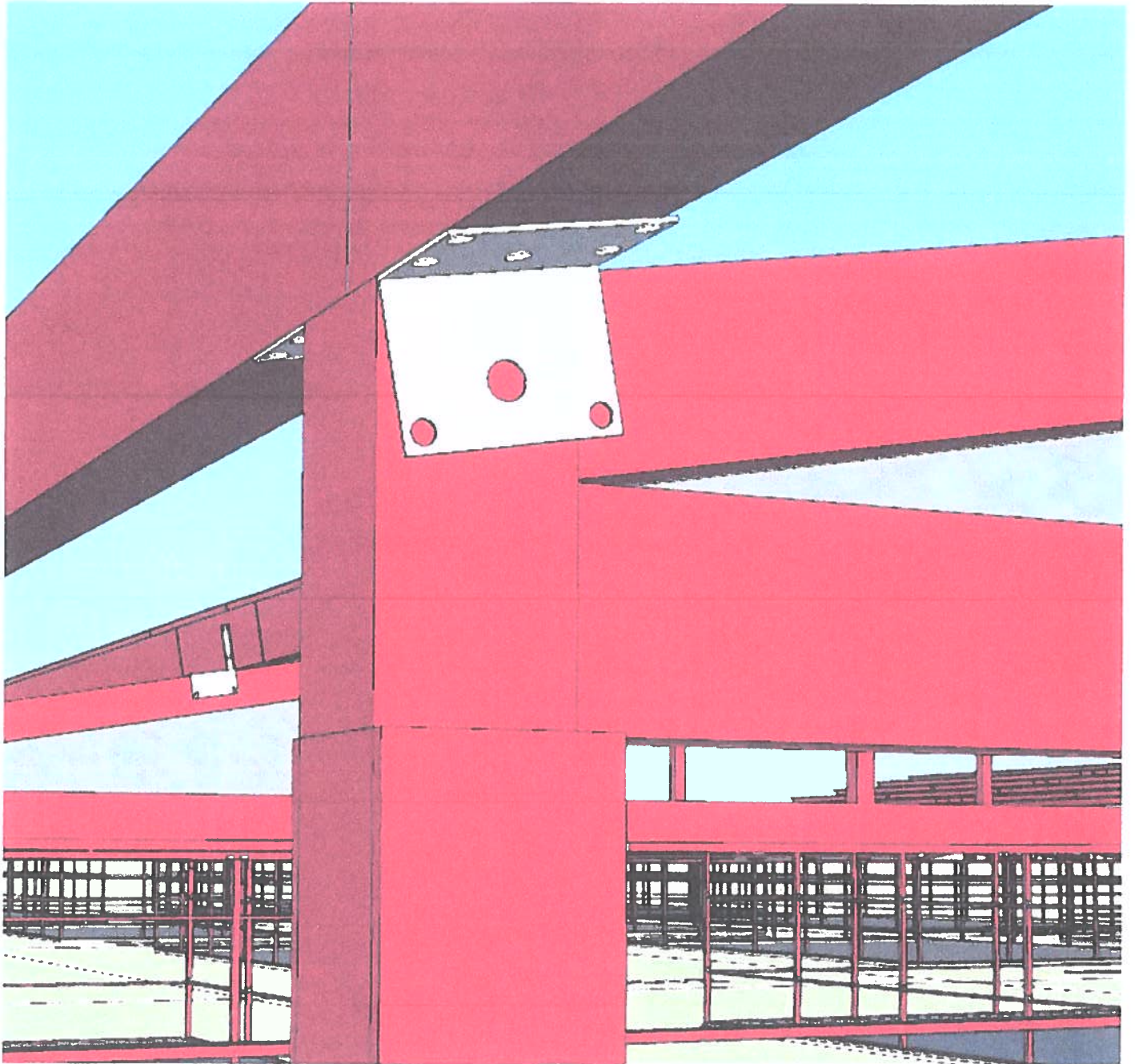
10' WALLS – TO CUT POSTS AT 9'2"

→ 12' WALLS – TO CUT POSTS AT 11'2"

NOTE: THESE DIMENSIONS ARE BASED OFF OF FINISHED FLOOR



30' TRUSS





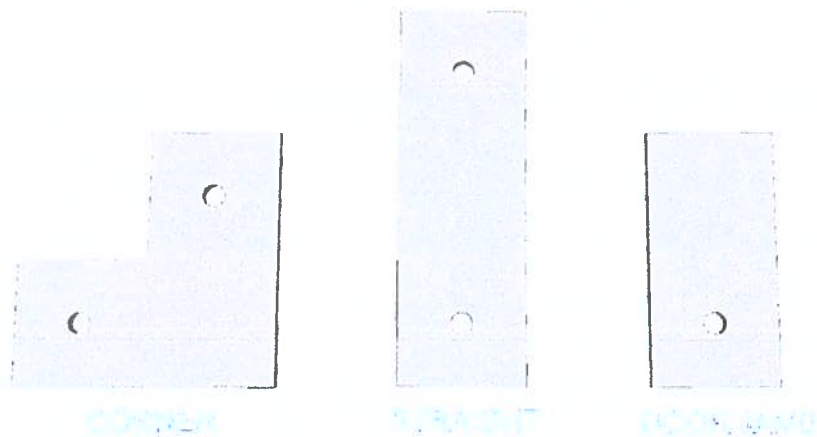
BASE PLATE DETAILS

CAST IN CONCRETE WELD PLATES



OR

WELD ON BASE PLATES





POST OFFICE BOX 850 • COWETA, OKLAHOMA 74429 • PH. (918) 486-2189 • FAX (918) 486-5366 • www.cityofcoweta-ok.gov

Memorandum

To: Honorable Chairman, Members of the Board of Adjustment
From: Mark Seibold, Community Development Director
Re: CBOA 22-04
Date: 04/18/22

BACKGROUND

Applicants

Serguei and Natalya Borissenko, 711 N Old Main in Coweta, are seeking;

- 1) A variance from Section 240.2 (e) (4) pertaining to allowable aggregate square footage of accessory buildings,
- 2) A special exception from
 - a. Section 240.2 (e) (3) pertaining to relatable design of accessory buildings, and a special exception under
 - b. Section 240.2 (e) (5) from Section 240.2 (e) (2) pertaining to the aggregate maximum allowable square footage of accessory buildings.

Action on the Variance (1st item) does not imply or guarantee approval of the individual special exceptions (2nd items a. and b.)

Case Facts

- The property legal description as: Lot 8 and part of Lot 9, CARRIAGE CROSSING ESTATES "A", a replat of Block 6 of Carriage Crossing Estates, a subdivision in the NE/4 of NE/4 of Section 13, Township 17 North, Range 15 East of the Indian Base and Meridian. Wagoner County, State of Oklahoma; That part of Lot 9 more particularly described as; Beginning at the NE corner of said Lot 8; thence N01°13'51"W a distance of 184.69 feet; thence S88°29'55"W a distance of 153.86 feet; thence S06°05'11"E a distance of 211.80 feet; thence S23°58'44"W a distance of 39.33 feet; thence S51°34'18"W a distance of 77.56 feet to the SE corner of Lot 9, Block 3; thence S01°30'37"E a distance of 56.77 feet to a point on a curve; thence on a curve to the right with a radius of 50.00 feet; and an arc length of 45.94 feet, and a chord which bears N63°18'34"E a distance of 44.36 feet; thence N48°32'58"E a distance of 228.05 feet to the Point of Beginning.
- The property is zoned Residential Single Family (RS-2)
- The principal structure on the property is approximately 1,376 sq ft with a brick and wood exterior and composition shingle roofing.
- Property has an existing accessory building (Carport) 20 ft X 18 ft 360 sq ft:
- Applicant wishes to construct an additional 30 ft X 50 ft (1,500 sq ft) metal framed shop with metal siding and roof color matched to the principal structure, the shop will have a peak height of 12 ft walls.
- If constructed, the aggregate square footage of accessory buildings on the lot would be 1,860 sq ft.

Pertinent Code

- Section 240.2 (e) (3) Detached accessory buildings may be located in the rear yards of RS Districts and shall be regulated as follows:
(1) On RS lots containing less than one-half (0.5) acre of lot area, detached accessory buildings may be located in a rear yard provided that the accessory buildings in aggregate do not exceed 768 square feet of floor area, or cover more than twenty percent (20%) of the rear yard, whichever is smaller.
(2) On RS lots containing one-half (0.5) acre of lot area or greater, detached accessory buildings may be located in the rear yard provided that the accessory buildings in aggregate do not exceed the following: RS lots containing a minimum of one-half (0.5) acre but less than one (1) acre of lot area - an aggregate maximum floor area of 1,000 square feet; **or RS lots containing one (1) acre or more of lot area - an aggregate maximum floor area of 1,500 square feet.**
- Section 240.2 (e) (3) **Accessory Buildings over 750 square feet in size** located upon a property site, or an adjacent property if under same ownership, **shall be designed to relate in materials, color, character and detail to the principal building(s)** located upon the site and/or adjacent lots
- Section 240.2 (e) (4) **In no case shall the aggregate area of accessory buildings on a lot be permitted to exceed the floor area of the principal residential structure** located upon the lot.
- Section 240.2 (e) (5) All accessory buildings not meeting the minimum requirements in (1.) and (2.) above shall require Board of Adjustment action in the form of a Special Exception. **The following factors, at a minimum, shall be considered by the Board of Adjustment in granting Special Exception approval of detached accessory buildings as referenced above: the accessory building height; building construction materials; building color scheme; building location and setbacks; proposed or existing landscaping and/or screening fence, roof types, surface texture, style, details and building form.** (Ord #572)
- Section 2150.3 Board of Adjustment Action (Pertaining to Special Exceptions):
The Board shall hold the public hearing. The Board may reverse or affirm, wholly or partly, or may modify the order, requirement, decision or determination appealed from and may make such order, requirement, decision, or determination as ought to be made, and to that end shall have all the powers of the officer from whom the appeal is taken. The **concurring vote of three (3) members of the Board shall be necessary to reverse any order, requirement, decision or determination of the City Manager or his designee.**
- Section 2170.3 Board of Adjustment Action (Pertaining to Variances):
The Board shall hold the hearing and **upon the concurring vote of three members may grant a variance after finding:**
(a) **That by reason of extraordinary or exceptional conditions or circumstances which are peculiar to the land, structure or building involved, the literal enforcement of the terms of the Code would result in unnecessary hardship.**

- (b) That such extraordinary or exceptional conditions or circumstances do not apply generally to other property in the same use district,
(c) That the variance to be granted will not cause substantial detriment to the public good or impair the purposes, spirit, and intent of the Code, or the Comprehensive Plan.

Provided that the Board in granting a variance shall prescribe appropriate conditions and safeguards, and may require such evidence and guarantee or bond as it may deem necessary to enforce compliance with the conditions attached.

BOARD ACTION

The Board of Adjustment may vote to deny any variance or special exception, vote to approve any variance or special exception, or vote to approve any variance or special exception with conditions. The Board of Adjustment may consider the following actions;

- 1) A variance from Section 240.2 (e) (4) pertaining to allowable aggregate square footage of accessory buildings,
- 2) A special exception from
 - a. Section 240.2 (e) (3) pertaining to relatable design of accessory buildings, and a special exception under
 - b. Section 240.2 (e) (5) from Section 240.2 (e) (2) pertaining to the aggregate maximum allowable square footage of accessory buildings.

ATTACHMENTS

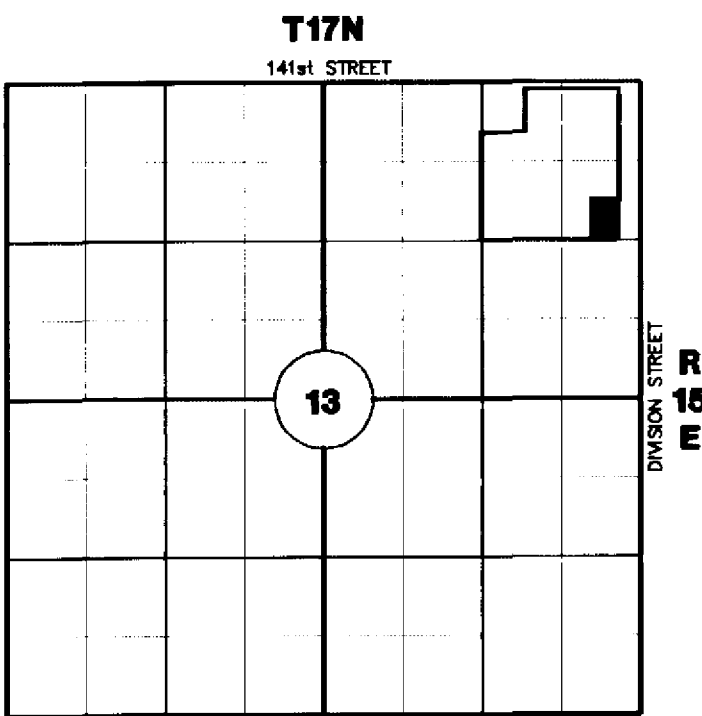
Notice of Public Hearing
Building Schematic (Proposed)
Subdivision Plat
Site Plan
Aerial Map
Area Map
Zoning Map

DRAWN BY: B. BREWER DATE: 02/20/01
CHECKED BY: R. ENTZ FILE NAME: W0377BE

**FINAL
PLAT
OF
CARRIAGE CROSSING ESTATES 'A'**
**A REPLAT OF BLOCK 6
OF CARRIAGE CROSSING ESTATES
IN SECTION 13, T17N, R15E, IB&M
TO THE CITY OF COWETA
WAGONER COUNTY, OKLAHOMA**

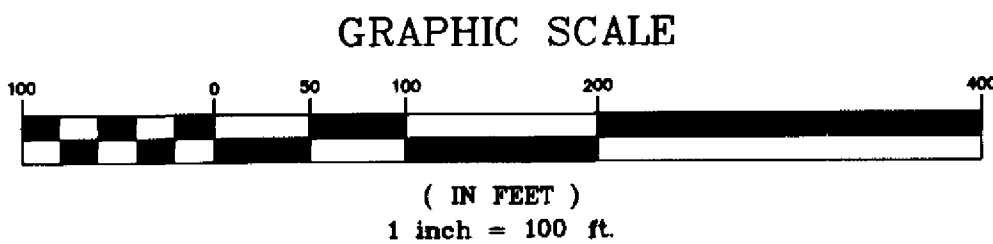
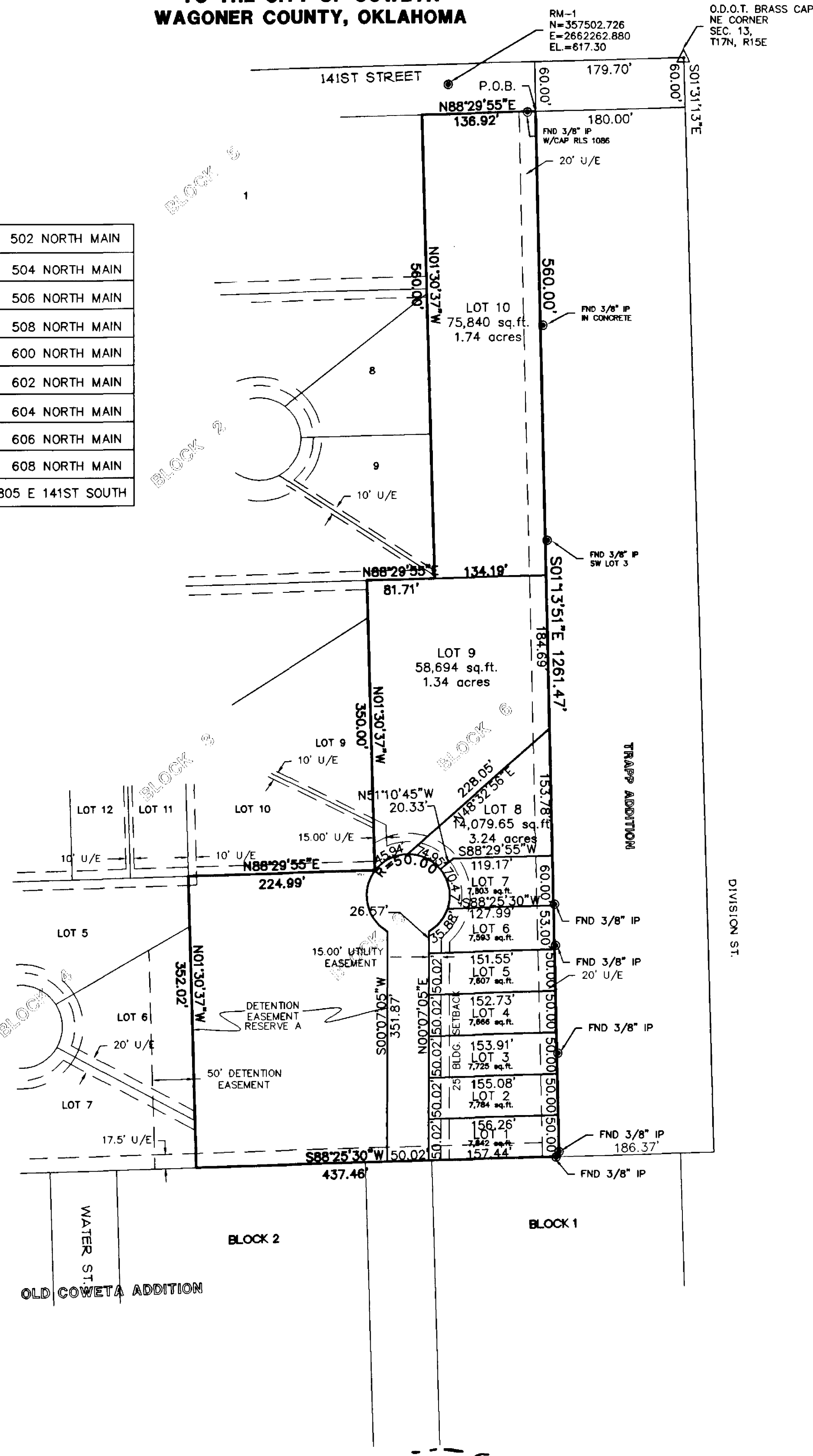
RESTRICTIVE COVENANT

- All lots shall be used for residential use only except Block 5
- All single family residences of one story in height shall have a minimum of 700 square feet of living area. All single family residences of one and one-half story or two story, shall have a minimum of 650 square feet on the first floor, with a minimum of 700 square feet on both floors. All square footage requirements are exclusive of garages and porches and are figured on measurements over masonry of the living area.
- No building or part thereof, except open porches and terraces, shall be constructed and maintained on any lot nearer to the front property line than the building line shown on the recorded plat of said addition; and no residence, garage, carport, or accessory building shall be built nearer than five feet to any side lot line on one side and 5.0 feet on the other side, this requiring a combined total of 10.0 feet between any structure and both side lot lines. Where side lot easements are shown greater than the foregoing, no encroachment shall be allowed on the easement.
- No structure previously used or erected shall be moved onto any lot.
- No prefabricated, pre-assembled or modular dwelling or structures shall be placed, erected or permitted to remain in said addition, except one accessory building not to exceed 80 square feet.
- All exposed foundations shall be of brick or stone. No concrete blocks, poured concrete or any other foundation will be exposed. No stem walls will be exposed. A minimum of 30% of the exterior wall surface of any residence shall be of brick or stone construction.
- No fence, whether ornamental or otherwise, shall be constructed or allowed to remain in front of the minimum building set-back line or be greater than six (6) feet in height, except for privacy screening adjacent to patios which may be seven (7) feet in height.
- Trucks with tonnage in excess of 34 tons shall not be permitted to park in the streets and no vehicle of any size, which normally transports inflammatory, explosive, or health hazardous cargo, may be kept in this subdivision at any time. No vehicle shall be permitted to be parked or repaired in a front yard. No campers or other recreational vehicles shall be parked on or any closer to the street than the front of the residence for a period which exceeds forty-eight (48) hours. All inoperative vehicles shall be kept in an enclosed garage and shall not be parked in the front yard or in the street.
- No structure of a temporary character, trailer, basement, tent, shack, garage, barn, or other outbuilding shall be used on any lot at any time as a residence either temporarily or permanently.
- No building material of any kind or character shall be placed or stored upon any lot for a period greater than thirty (30) days prior to the start of any construction, and at no time shall such material be placed outside the boundaries of the lot owner's ownership. The construction period of any residence, garage, carport, or accessory building shall be completed within nine (9) months. During the construction period, each building site shall be kept orderly and it shall be the responsibility of the lot owner to ensure that all rubbish and construction litter is contained and properly disposed of.
- No sign of any kind shall be displayed to the public view on any lot except one professional sign of not more than five (5) square feet advertising the property for sale, trade or loan, except those signs used by a builder of not more than thirty (30) square feet to advertise property during the construction and sales period and those used by the developer.
- No animals, livestock, or poultry of any kind shall be raised, bred or kept on any lot except that dogs, cats, or other household pets may be kept, provided that they are not kept, bred or maintained for any commercial purposes.
- No trash, ashes, or any other refuse, shall be placed in the open in the subdivision, or along any street therein or adjacent thereof, nor shall any trash or refuse receptacle be constructed or placed in such a manner that it can be seen from the street or adjacent properties. Any such receptacle shall be covered in such a manner to prevent the escape of noxious odors and prevent entrance and/or exit of insect or animal life. Grass, weeds and vegetation on each lot sold shall be kept mowed at regular intervals so as to maintain the same in a neat and attractive manner. Trees, shrubs, vines or plants which die shall be removed from the property.
- Street light poles or standards may be served by underground cable and elsewhere throughout said Addition all supply lines shall be located underground in the easement-ways reserved for general utility services and streets shown on the attached plat. Service pedestals and transformers, as sources of supply at secondary voltages, may also be located in said easement-ways.
- Underground service cables to all houses which may be located on all lots in said Addition may be run from the nearest service pedestal or transformer to the point of usage determined by the location and construction of such house as may be located upon each said lot; provided that upon the installation of such a service cable to a particular house, the supplier of electric service shall thereafter be deemed to have a definitive, permanent, effective and exclusive right-of-way easement on said lot, covering a five-foot strip extending 2.5 feet on each side of such service cable, extending from the service pedestal of transformer to the service entrance on said house.
- The supplier of electric and gas service, through its proper agents and employees shall at all times have right of access to all such easement-ways shown on said plat, or provided for in this Deed of Dedication for the purpose of installing, maintaining, removing or replacing any portion of said underground electric and gas facilities so installed by them.
- The owner of each lot shall be responsible for the protection of the underground electric and gas facilities located on his property and shall prevent the alteration of grade or any construction activity which may interfere with said facilities. Each company will be responsible for ordinary maintenance of underground electric and gas facilities, but the owner will pay for damage or relocation of such facilities caused or necessitated by acts of the owner or his agents or contractors.
- The foregoing covenants concerning underground electric and gas facilities shall be enforceable by the supplier of said services, and the owner of each lot agrees to be bound hereby.



**LOCATION MAP
N.T.S.**

LOT 1	502 NORTH MAIN
LOT 2	504 NORTH MAIN
LOT 3	506 NORTH MAIN
LOT 4	508 NORTH MAIN
LOT 5	600 NORTH MAIN
LOT 6	602 NORTH MAIN
LOT 7	604 NORTH MAIN
LOT 8	606 NORTH MAIN
LOT 9	608 NORTH MAIN
LOT 10	28805 E 141ST SOUTH



HORIZONTAL DATUM IS BASED ON NAD 83(93) OKLAHOMA
STATE PLANE COORDINATE SYSTEM, NORTH ZONE.
VERTICAL DATUM IS BASED ON NGVD 88.
SCALE FACTOR: 0.9999410

OWNER'S CERTIFICATE AND DEDICATION

STATE OF OKLAHOMA)
COUNTY OF WAGONER)

KNOW ALL MEN BY THESE PRESENTS, that We, R & M Investments, Inc. a corporation hereby certify that We are the Owners of the and the persons having any right, title or interests to the following described tract of land, to-wit:

A Subdivision of Lot 1, Block 6, Carriage Crossing Estates, City of Coweta, Wagoner County, State of Oklahoma. Containing 7.01 acres, more or less.

We further certify that we have caused said tract of land to be replatted into lots and have caused this plat to be made of said tract showing accurate dimension of lots and streets. I hereby designate said tract of land as CARRIAGE CROSSING ESTATES "A" and dedicate to public use all streets and utility easements as shown hereon.

H. E. Reynolds, President
Arvil Morgan, Vice President

STATE OF OKLAHOMA
COUNTY OF WAGONER

Before me, the undersigned, a notary public in and for the County of Wagoner, State of Oklahoma, personally appeared H. E. Reynolds, to me known to be the identical person who executed the foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed for the purpose set forth.

WITNESS my hand and seal this 11th day of May, 2001.

Notary Public

My Commission expires: 3-3-2005

CERTIFICATE OF SURVEY

KNOW ALL MEN BY THESE PRESENTS, that I, Roy Entz, a resident of Muskogee County, State of Oklahoma, do hereby certify that I have carefully and accurately surveyed and replatted into lots the above described property and that this plat is a true and correct representation thereof, I further certify that this plat meets the minimum standards for the practice of land surveying.

WITNESS my hand and seal this 11th day of May, 2001.

Roy Entz, Land Surveyor 319
C.A. #535 expires 6/30/01

STATE OF OKLAHOMA
COUNTY OF MUSKOGEE

Before me, the undersigned, a notary public in and for the County of Muskogee, State of Oklahoma, personally appeared Roy Entz to me known to be the identical person who executed the foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed for the purpose therein set forth.

WITNESS my hand and seal this 6th day of April, 2001.

Notary Public

My Commission expires: 4-14-02

TREASURER'S CERTIFICATE

I hereby certify that as to all real estate involved in the plat, all taxes have been paid for 2000 as reflected by the current tax roll and that there are no taxes due for prior years, and security has been provided for 2001 taxes not as yet certified to me.

Mary Sue Suddens, County Treasurer

CERTIFICATE OF COUNTY CLERK

This plat has been filed in the office of the County Clerk, Wagoner County, Oklahoma, this 10th day of May, 2001. Book _____ Page _____

Jerry Fields, County Clerk

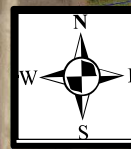
APPROVED: City of Coweta

Date 4-2-01

Mayor

Joyce Perry, City Clerk

CBOA 22-04 SPECIAL EXCEPTION SECTION 240.2 (e) (5)



15E17N12

16E17N7

141st

292nd East

293rd East

SUBJECT PROPERTY

Dogwood

Dogwood

Dogwood

Bixby

Redwood

Redwood

Redwood

15E17N13

16E17N18

Magnolia

Magnolia

Division

Bristow

Bristow

Birch

Atoka

Birch

Main

Oak

Broadway

State Highway 51

Delaware

CBOA 22-04 SPECIAL EXCEPTION SECTION 240.2 (e) (5)



15E17N12

Country Village IV

Country Village

287th

16E17N7

Albert Claxton Add.

141st

Johnson Addition I

Bixby

Dogwood

SUBJECT PROPERTY

Trapp Addition

Carriage Crossing Estates

Redwood

15E17N13

Magnolia

Carriage Crossing "A"

Division

Main

Oak

Orcutt

Dogwood

Bristow

Orcutt Addition

Redwood

16E17N18

Magnolia

Orcutt

Birch

Atoka

Birch

Bristow

Broadway

State Highway 51

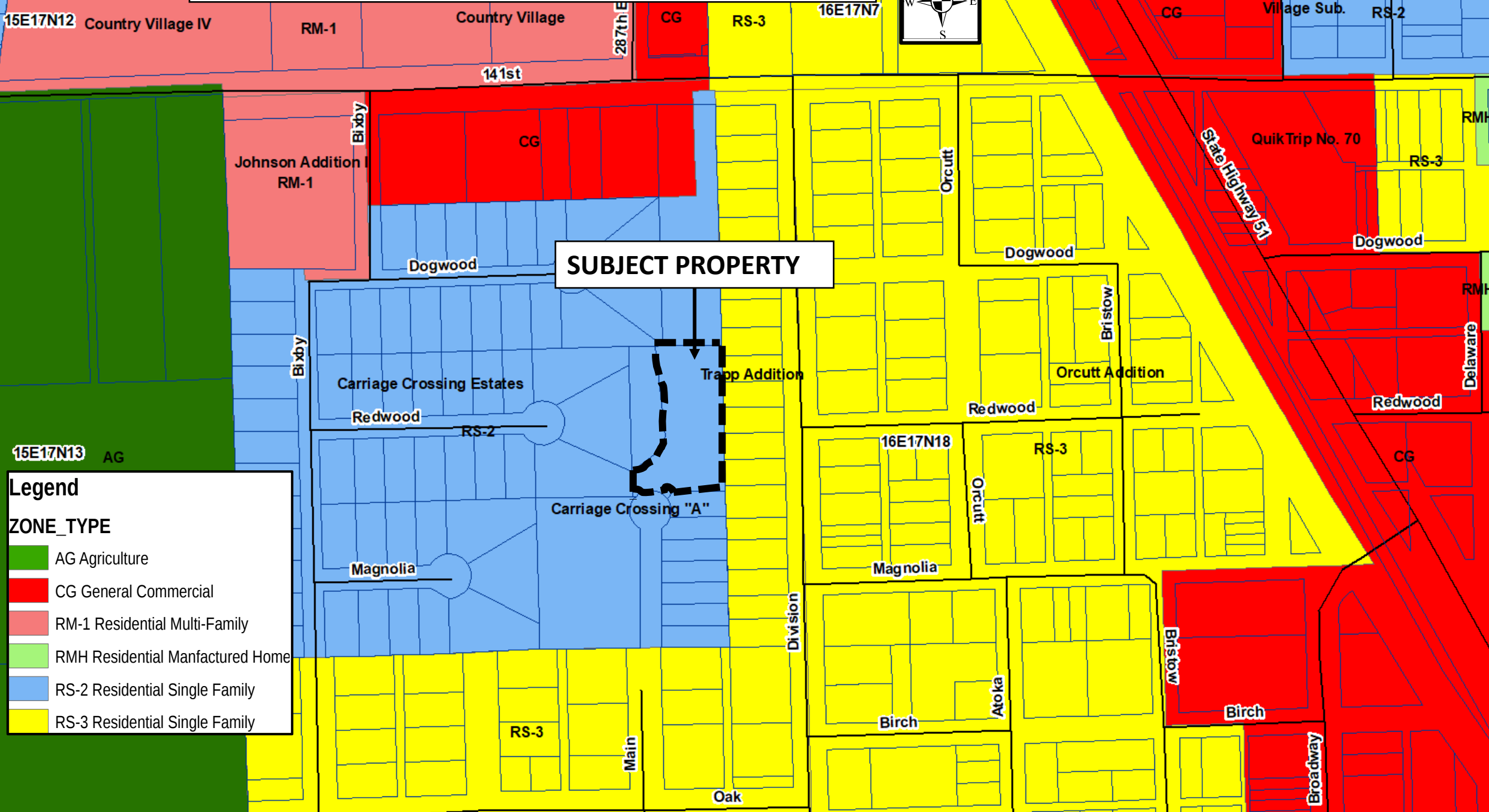
QuikTrip No. 70

Dogwood

Redwood

Delaware

CBOA 22-04 SPECIAL EXCEPTION SECTION 240.2 (e) (5)



Legend

ZONE_TYPE

- AG Agriculture
- CG General Commercial
- RM-1 Residential Multi-Family
- RMH Residential Manufactured Home
- RS-2 Residential Single Family
- RS-3 Residential Single Family

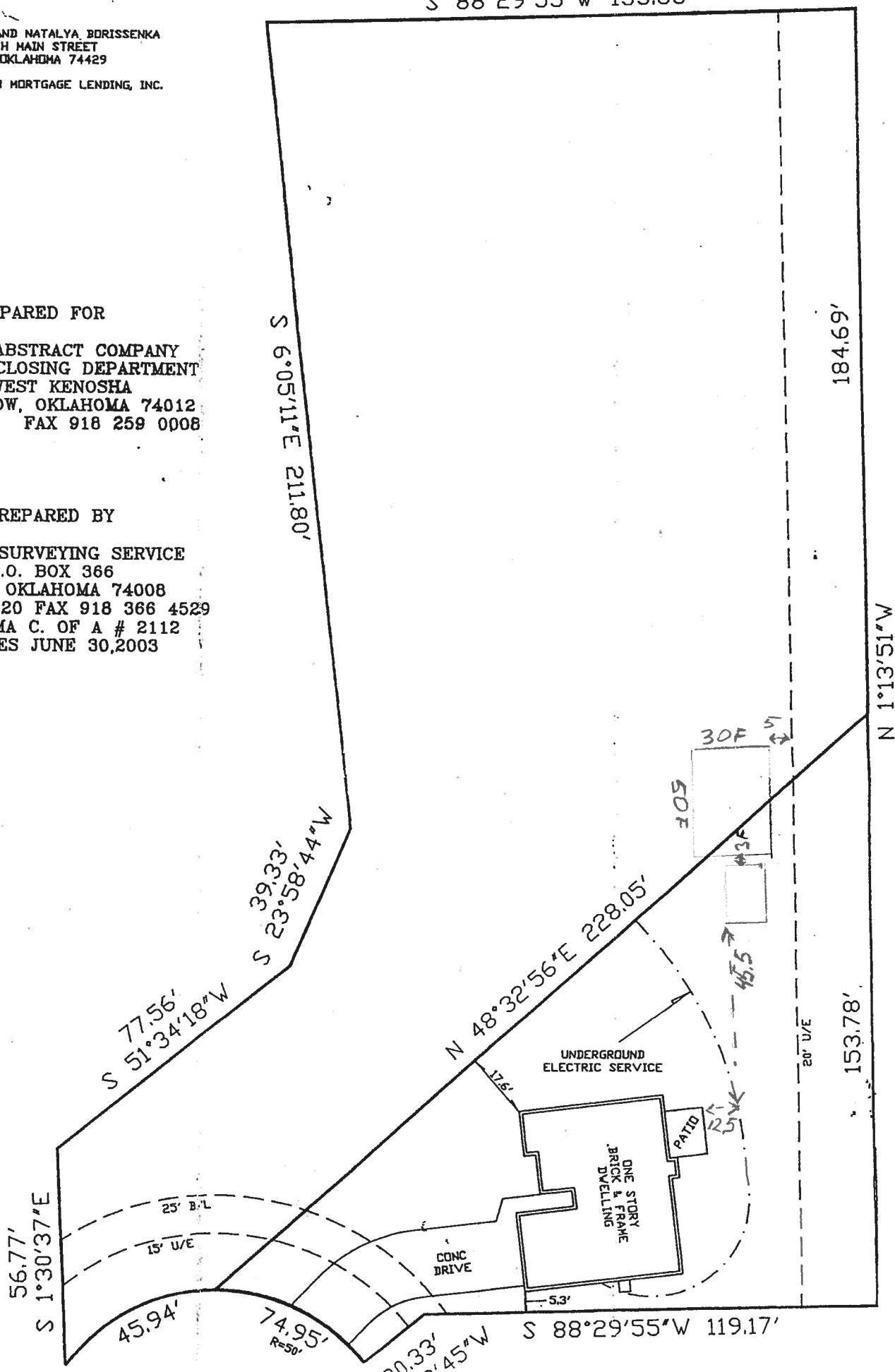
S 88°29'55"W 153.86'

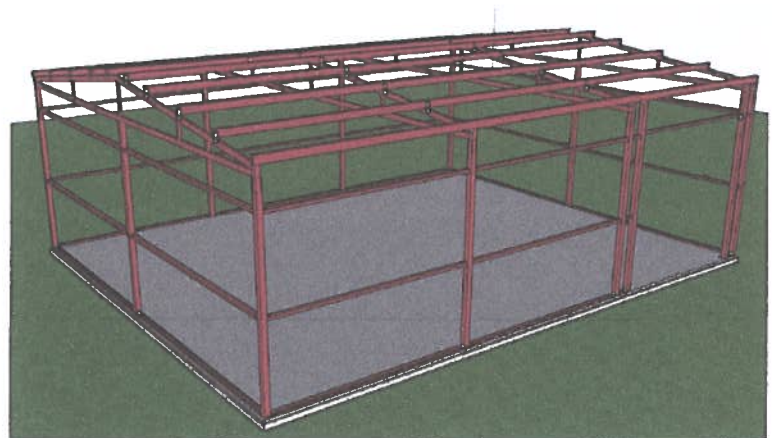
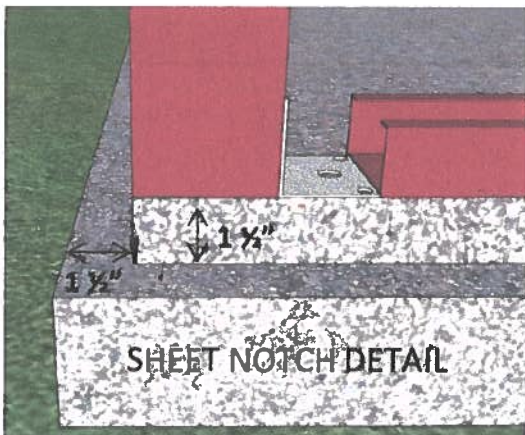
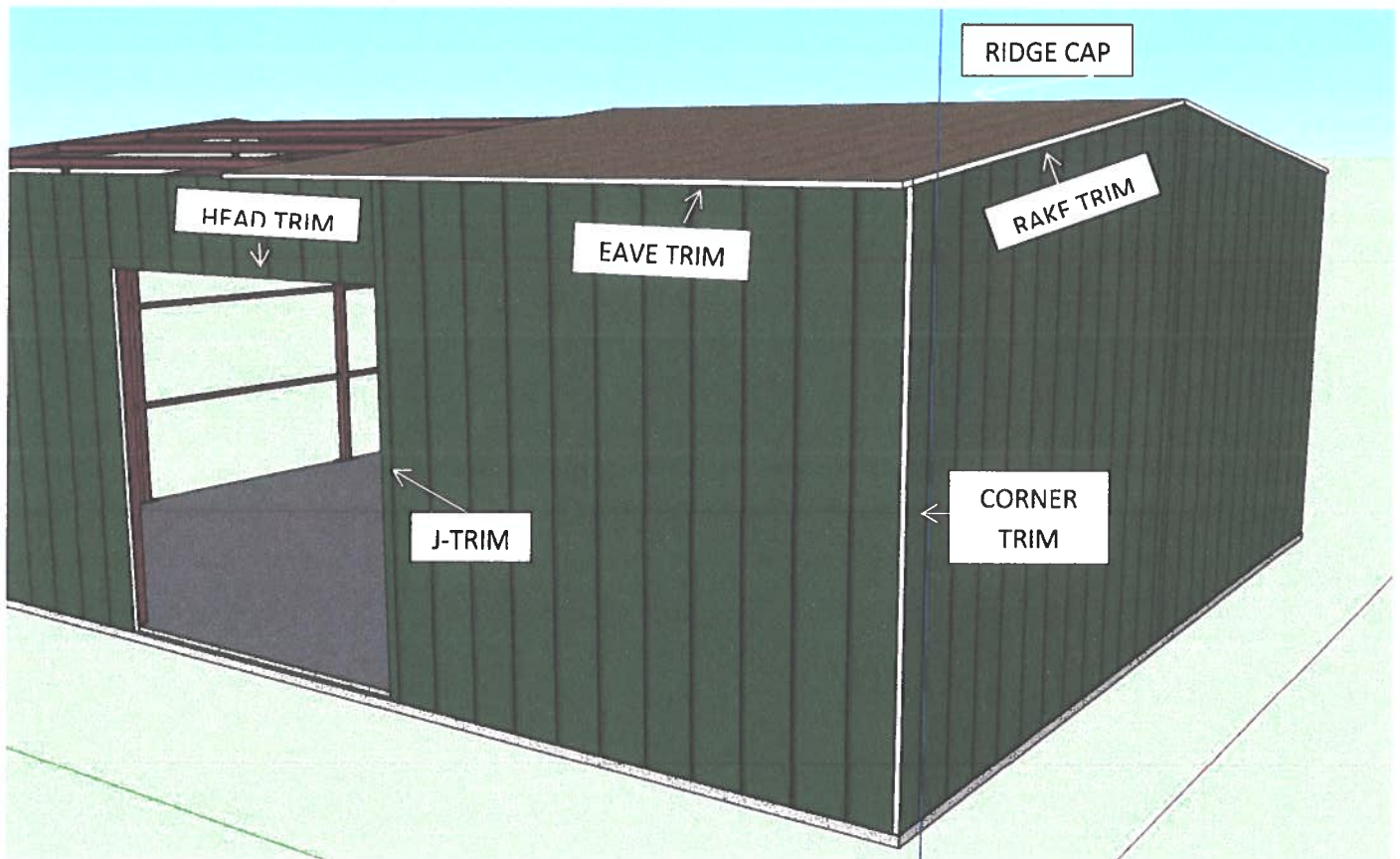
LENDER : AMERICAN MORTGAGE LENDING, INC.

GUARANTY ABSTRACT COMPANY
RESIDENTIAL CLOSING DEPARTMENT
2604 WEST KENOSHA
BROKEN ARROW, OKLAHOMA 74012
918 259 0000 FAX 918 259 0008

RAMSEY SURVEYING SERVICE
P.O. BOX 366
BIXBY, OKLAHOMA 74008
918 366 4520 FAX 918 366 4529
OKLAHOMA C. OF A # 2112
EXPIRES JUNE 30,2003

SCALE





Bright White

Polar White

Beige

Lightstone

Sahara Tan

Desert Beige

Emerald Green

Hawaiian Blue

Royal Blue

Patriot Red

Country Red

Burgundy

Cocoa Brown

Copper Metallic

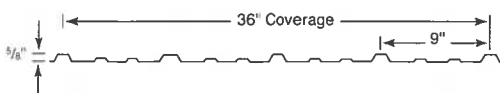
Steel Siding and Roofing produced by



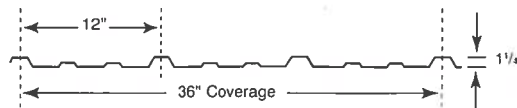
Springfield, MO
(417) 862-5291

Muskogee, OK
(918) 682-1083

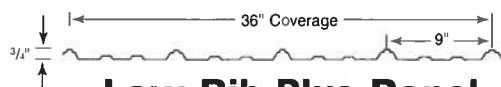
Rogers, AR
(479) 986-8736



Low-Rib Panel



R-Panel



Low-Rib Plus Panel

40
YEAR
PAINT WARRANTY

AkzoNobel

Ash Gray

Clay

Charcoal

Burnished Slate

Ebony Black



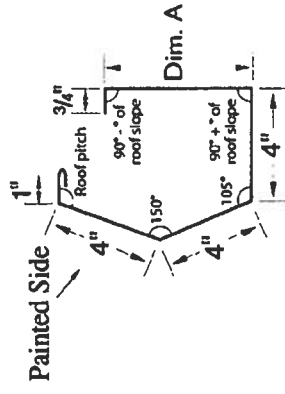
These colors are
only and may vary
actual material.
chips are available

Springfield, MO
(417)862-5291

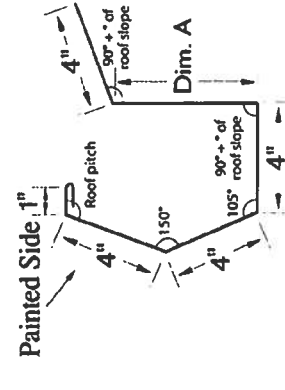
**Muskogee, OK
(918)682-1083**

GUTTERS

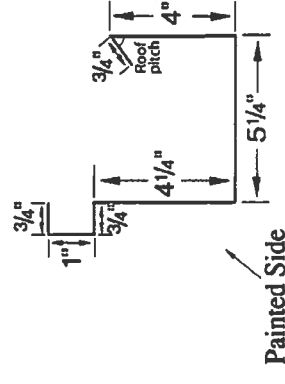
STANDARD GUTTER



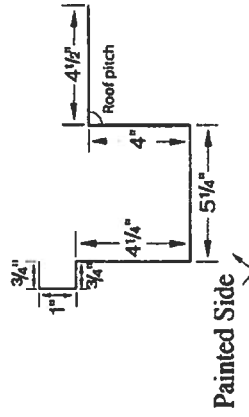
SCULPTURED GUTTER



BOX HANG-ON GUTTER



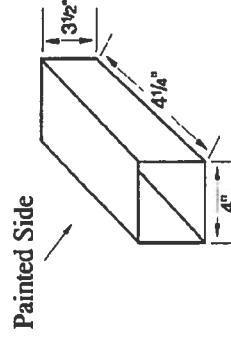
BOX EAVE GUTTER



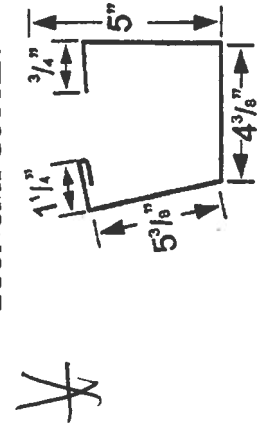
GUTTER STRAP



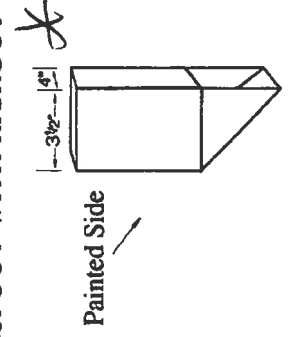
DOWNSPOUT W/O KICKOUT



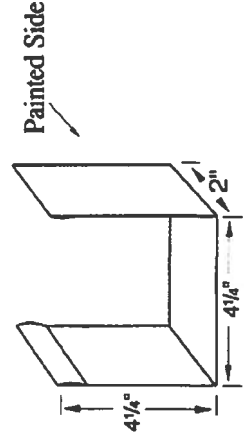
ECONOMY GUTTER



DOWNSPOUT WITH KICKOUT



DOWNSPOUT STRAP



Rogers, AR
(479)986-8736

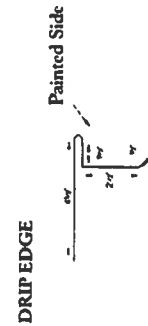
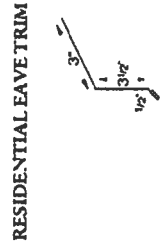
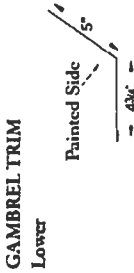
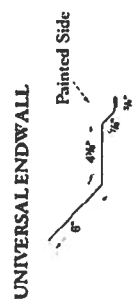
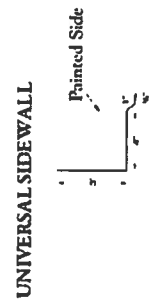
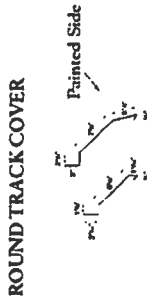
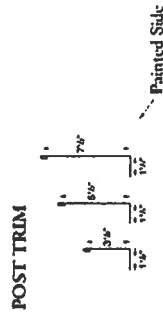
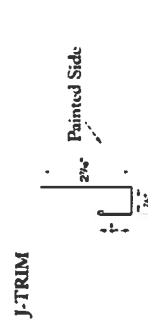
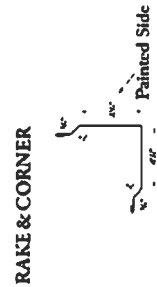
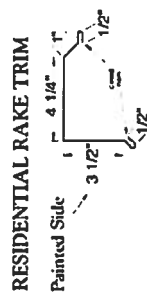
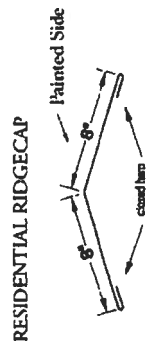
Wheeler Metals

Springfield, MO
(417)862-5291

Muskogee, OK
(918)682-1083

Rogers, AR
(479)986-8736

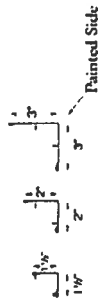
LOW-RIB TRIMS



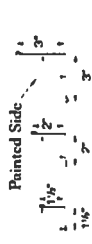
DOUBLE ANGLE



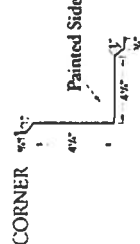
SINGLE ANGLE



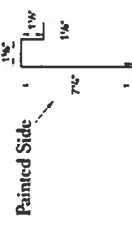
INSIDE ANGLE



INSIDE CORNER



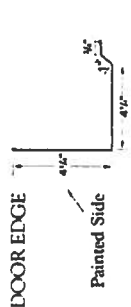
DOOR POST TRIM



OVERHEAD DOOR JAMB

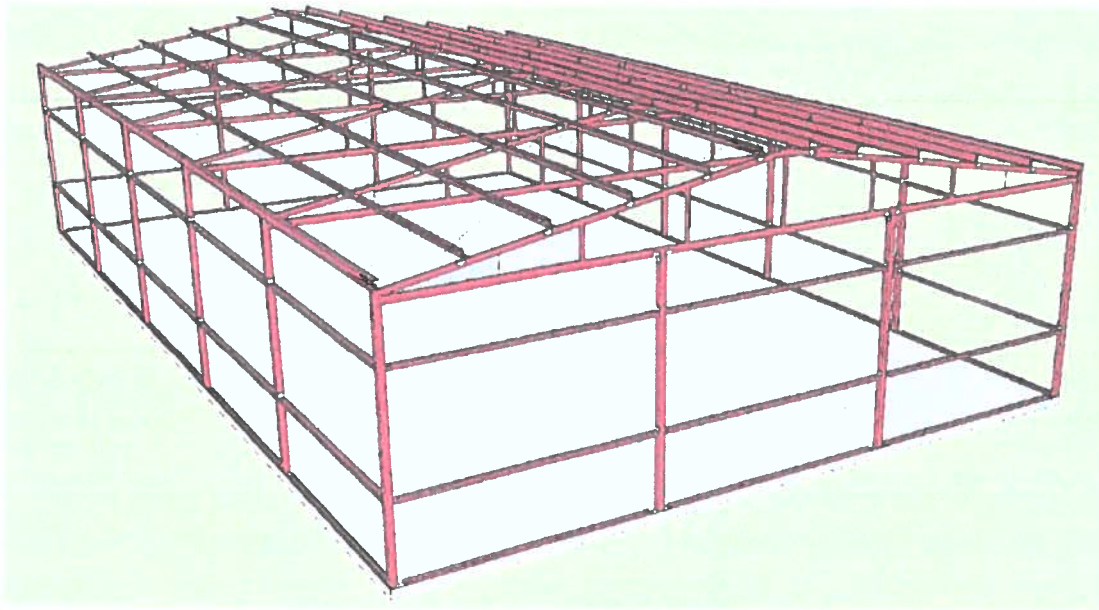


DOOR EDGE





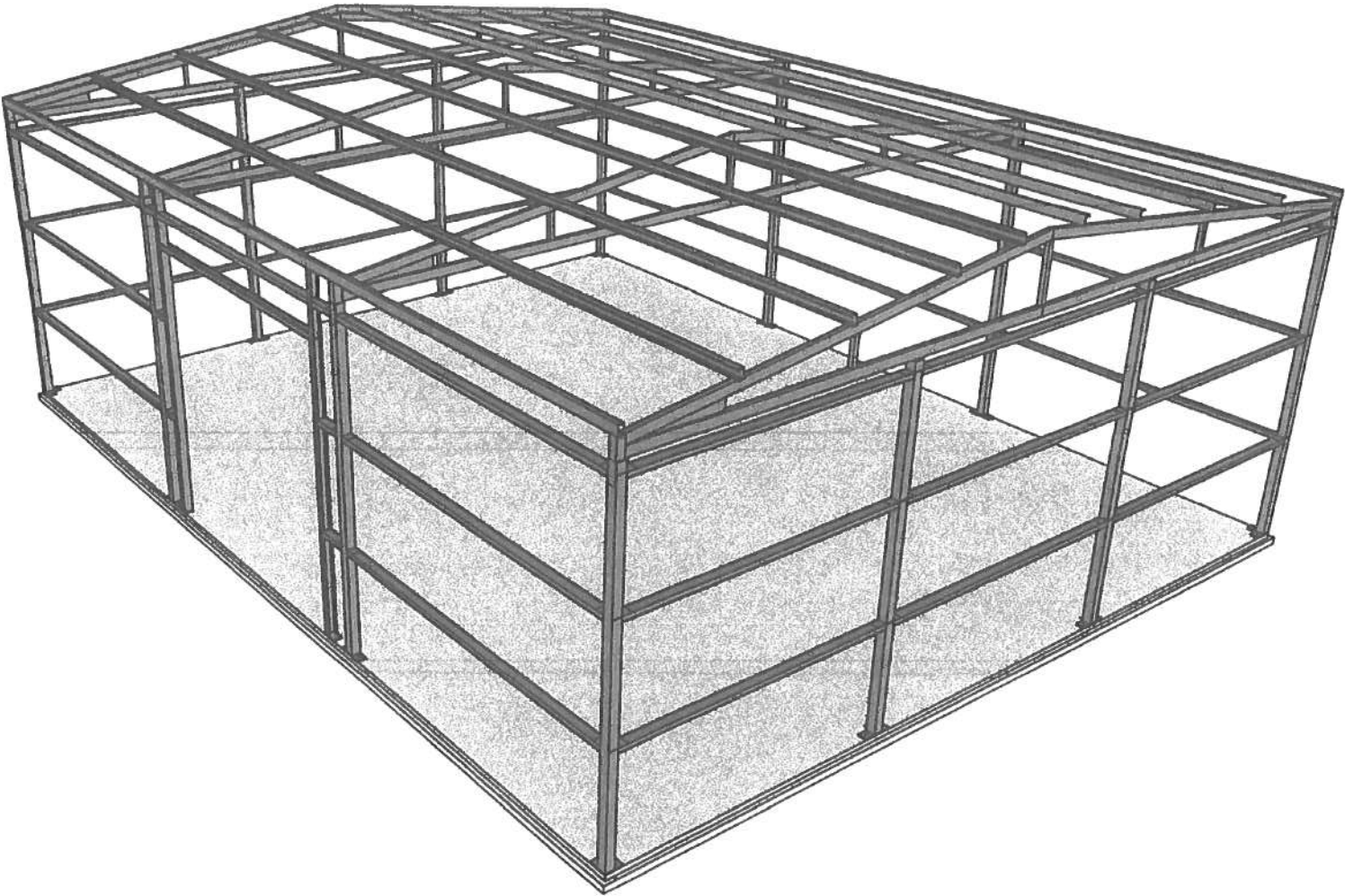
EZ TRUSS STYLE KITS



30x50

-NON ENGINEERED-

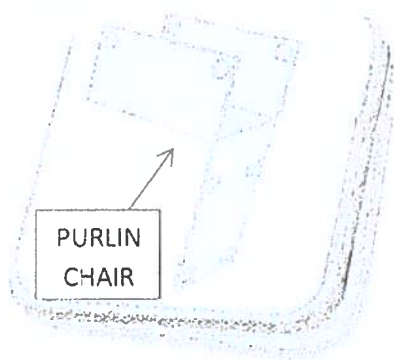
WELD UP, SCREW TOGETHER BUILDING PACKAGES



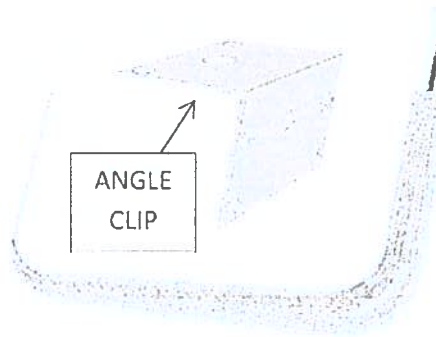


TRUSS STYLE BUILDING

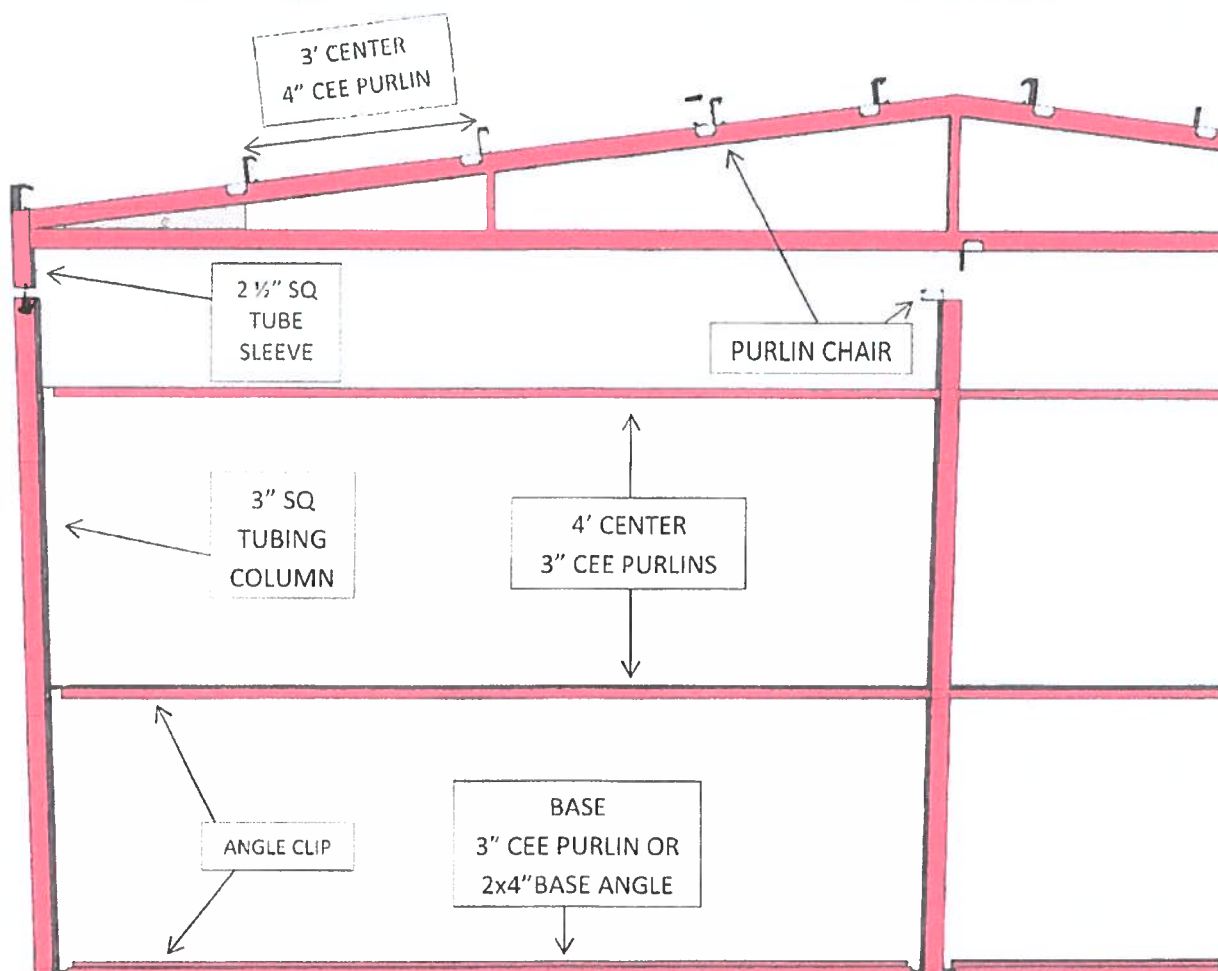
WELD UP OR SCREW TOGETHER KITS

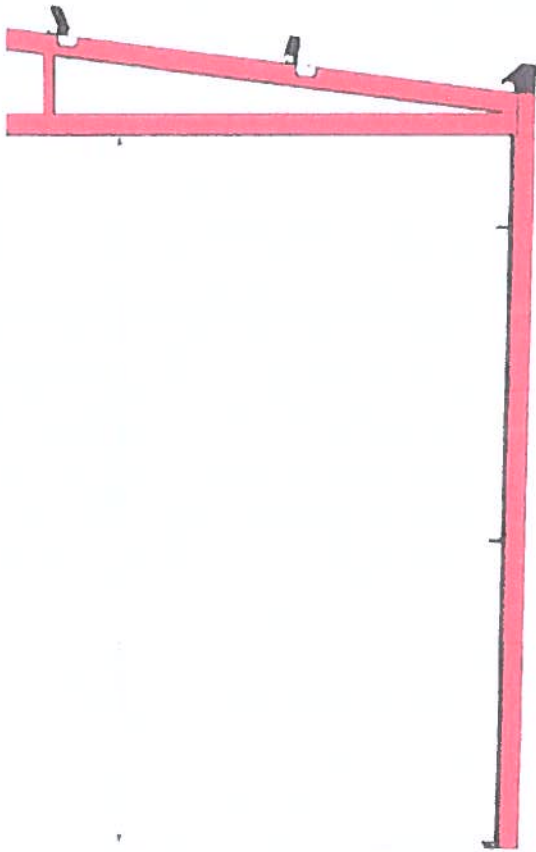


PURLIN
CHAIR



ANGLE
CLIP



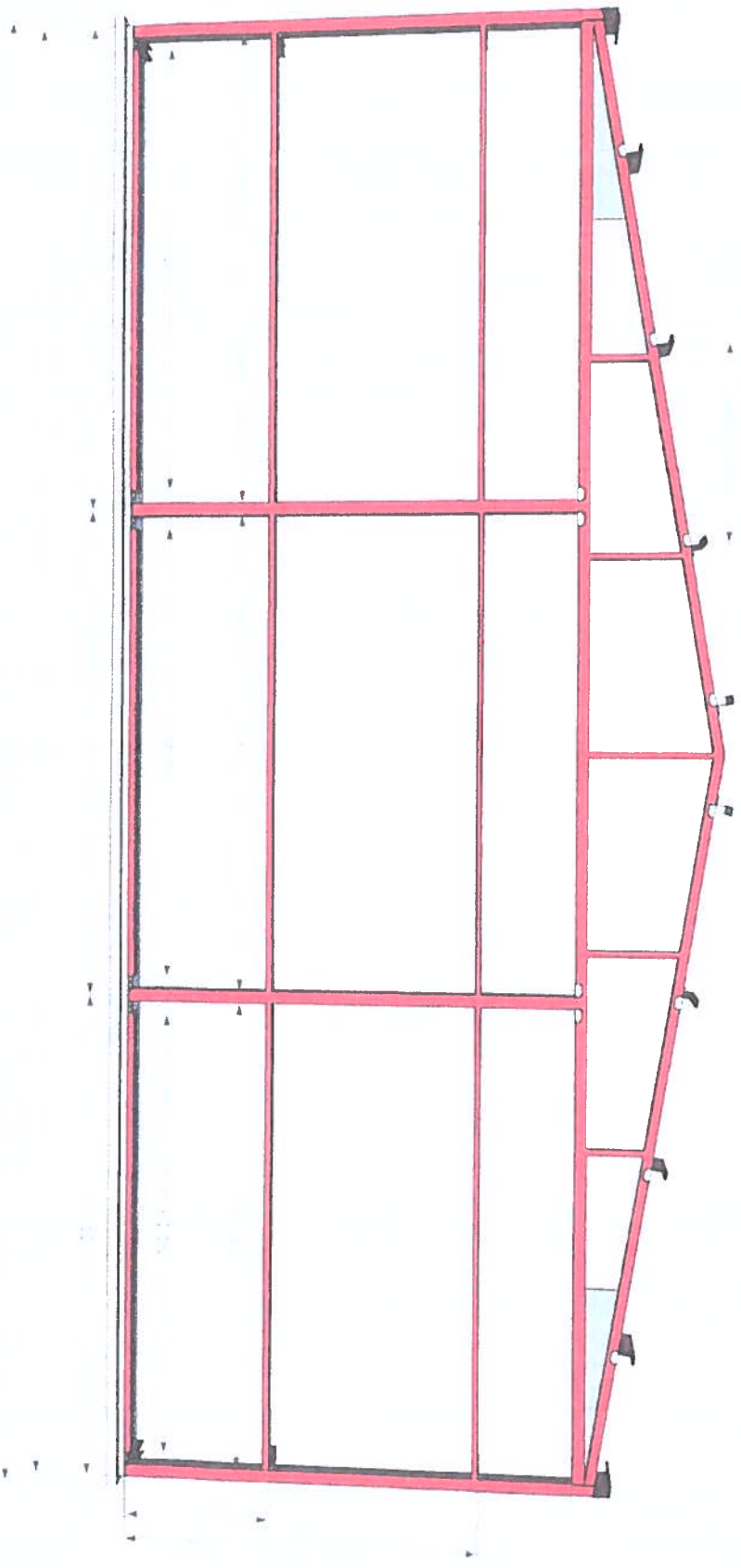


TRUSS STYLE POST CUT DIAGRAM

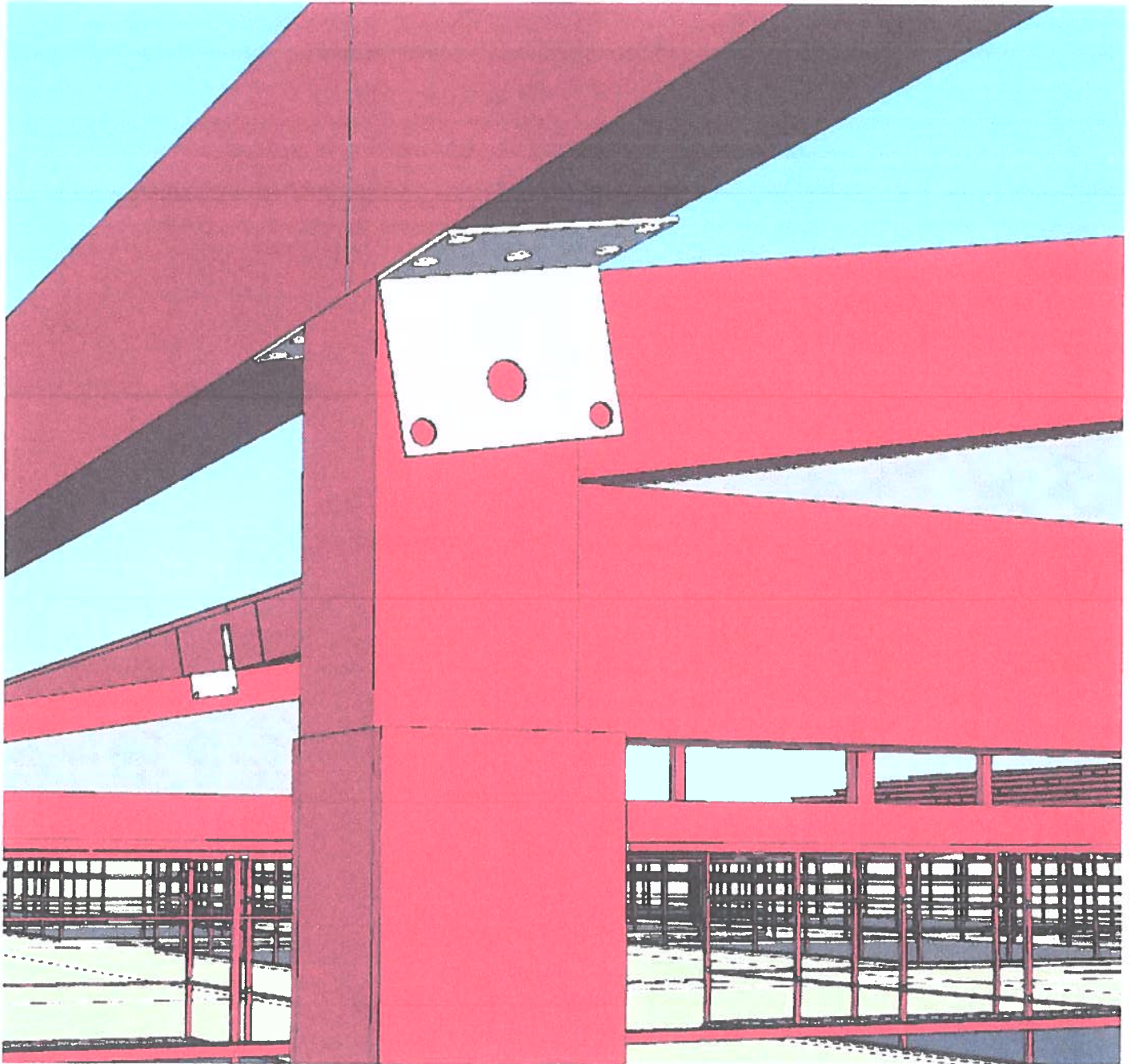
10' WALLS – TO CUT POSTS AT 9'2"

→ 12' WALLS – TO CUT POSTS AT 11'2"

NOTE: THESE DIMENSIONS ARE BASED OFF OF FINISHED FLOOR



30' TRUSS





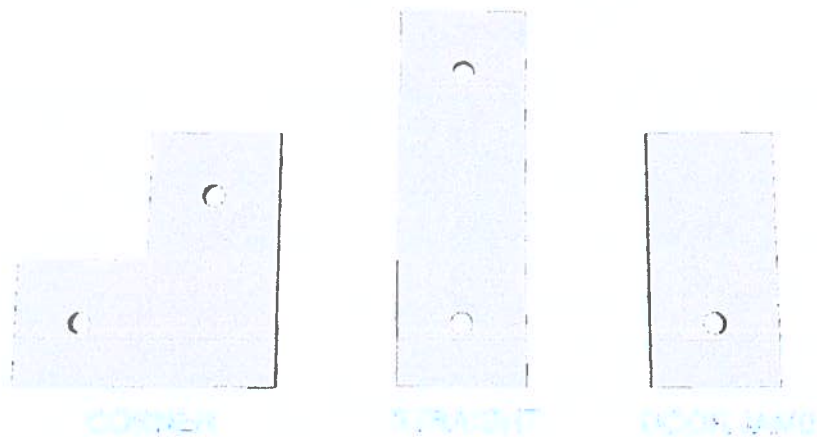
BASE PLATE DETAILS

CAST IN CONCRETE WELD PLATES



OR

WELD ON BASE PLATES





POST OFFICE BOX 850 • COWETA, OKLAHOMA 74429 • PH. (918) 486-2189 • FAX (918) 486-5366 • www.cityofcoweta-ok.gov

Memorandum

To: Honorable Chairman, Members of the Board of Adjustment
From: Mark Seibold, Community Development Director
Re: CBOA 22-04
Date: 04/18/22

BACKGROUND

Applicants

Serguei and Natalya Borissenko, 711 N Old Main in Coweta, are seeking;

- 1) A variance from Section 240.2 (e) (4) pertaining to allowable aggregate square footage of accessory buildings,
- 2) A special exception from
 - a. Section 240.2 (e) (3) pertaining to relatable design of accessory buildings, and a special exception under
 - b. Section 240.2 (e) (5) from Section 240.2 (e) (2) pertaining to the aggregate maximum allowable square footage of accessory buildings.

Action on the Variance (1st item) does not imply or guarantee approval of the individual special exceptions (2nd items a. and b.)

Case Facts

- The property legal description as: Lot 8 and part of Lot 9, CARRIAGE CROSSING ESTATES "A", a replat of Block 6 of Carriage Crossing Estates, a subdivision in the NE/4 of NE/4 of Section 13, Township 17 North, Range 15 East of the Indian Base and Meridian. Wagoner County, State of Oklahoma; That part of Lot 9 more particularly described as; Beginning at the NE corner of said Lot 8; thence N01°13'51"W a distance of 184.69 feet; thence S88°29'55"W a distance of 153.86 feet; thence S06°05'11"E a distance of 211.80 feet; thence S23°58'44"W a distance of 39.33 feet; thence S51°34'18"W a distance of 77.56 feet to the SE corner of Lot 9, Block 3; thence S01°30'37"E a distance of 56.77 feet to a point on a curve; thence on a curve to the right with a radius of 50.00 feet; and an arc length of 45.94 feet, and a chord which bears N63°18'34"E a distance of 44.36 feet; thence N48°32'58"E a distance of 228.05 feet to the Point of Beginning.
- The property is zoned Residential Single Family (RS-2)
- The principal structure on the property is approximately 1,376 sq ft with a brick and wood exterior and composition shingle roofing.
- Property has an existing accessory building (Carport) 20 ft X 18 ft 360 sq ft:
- Applicant wishes to construct an additional 30 ft X 50 ft (1,500 sq ft) metal framed shop with metal siding and roof color matched to the principal structure, the shop will have a peak height of 12 ft walls.
- If constructed, the aggregate square footage of accessory buildings on the lot would be 1,860 sq ft.

Pertinent Code

- Section 240.2 (e) (3) Detached accessory buildings may be located in the rear yards of RS Districts and shall be regulated as follows:
(1) On RS lots containing less than one-half (0.5) acre of lot area, detached accessory buildings may be located in a rear yard provided that the accessory buildings in aggregate do not exceed 768 square feet of floor area, or cover more than twenty percent (20%) of the rear yard, whichever is smaller.
(2) On RS lots containing one-half (0.5) acre of lot area or greater, detached accessory buildings may be located in the rear yard provided that the accessory buildings in aggregate do not exceed the following: RS lots containing a minimum of one-half (0.5) acre but less than one (1) acre of lot area - an aggregate maximum floor area of 1,000 square feet; **or RS lots containing one (1) acre or more of lot area - an aggregate maximum floor area of 1,500 square feet.**
- Section 240.2 (e) (3) **Accessory Buildings over 750 square feet in size** located upon a property site, or an adjacent property if under same ownership, **shall be designed to relate in materials, color, character and detail to the principal building(s)** located upon the site and/or adjacent lots
- Section 240.2 (e) (4) **In no case shall the aggregate area of accessory buildings on a lot be permitted to exceed the floor area of the principal residential structure** located upon the lot.
- Section 240.2 (e) (5) All accessory buildings not meeting the minimum requirements in (1.) and (2.) above shall require Board of Adjustment action in the form of a Special Exception. **The following factors, at a minimum, shall be considered by the Board of Adjustment in granting Special Exception approval of detached accessory buildings as referenced above: the accessory building height; building construction materials; building color scheme; building location and setbacks; proposed or existing landscaping and/or screening fence, roof types, surface texture, style, details and building form.** (Ord #572)
- Section 2150.3 Board of Adjustment Action (Pertaining to Special Exceptions):
The Board shall hold the public hearing. The Board may reverse or affirm, wholly or partly, or may modify the order, requirement, decision or determination appealed from and may make such order, requirement, decision, or determination as ought to be made, and to that end shall have all the powers of the officer from whom the appeal is taken. The **concurring vote of three (3) members of the Board shall be necessary to reverse any order, requirement, decision or determination of the City Manager or his designee.**
- Section 2170.3 Board of Adjustment Action (Pertaining to Variances):
The Board shall hold the hearing and **upon the concurring vote of three members may grant a variance after finding:**
(a) **That by reason of extraordinary or exceptional conditions or circumstances which are peculiar to the land, structure or building involved, the literal enforcement of the terms of the Code would result in unnecessary hardship.**

- (b) That such extraordinary or exceptional conditions or circumstances do not apply generally to other property in the same use district,
(c) That the variance to be granted will not cause substantial detriment to the public good or impair the purposes, spirit, and intent of the Code, or the Comprehensive Plan.

Provided that the Board in granting a variance shall prescribe appropriate conditions and safeguards, and may require such evidence and guarantee or bond as it may deem necessary to enforce compliance with the conditions attached.

BOARD ACTION

The Board of Adjustment may vote to deny any variance or special exception, vote to approve any variance or special exception, or vote to approve any variance or special exception with conditions. The Board of Adjustment may consider the following actions;

- 1) A variance from Section 240.2 (e) (4) pertaining to allowable aggregate square footage of accessory buildings,
- 2) A special exception from
 - a. Section 240.2 (e) (3) pertaining to relatable design of accessory buildings, and a special exception under
 - b. Section 240.2 (e) (5) from Section 240.2 (e) (2) pertaining to the aggregate maximum allowable square footage of accessory buildings.

ATTACHMENTS

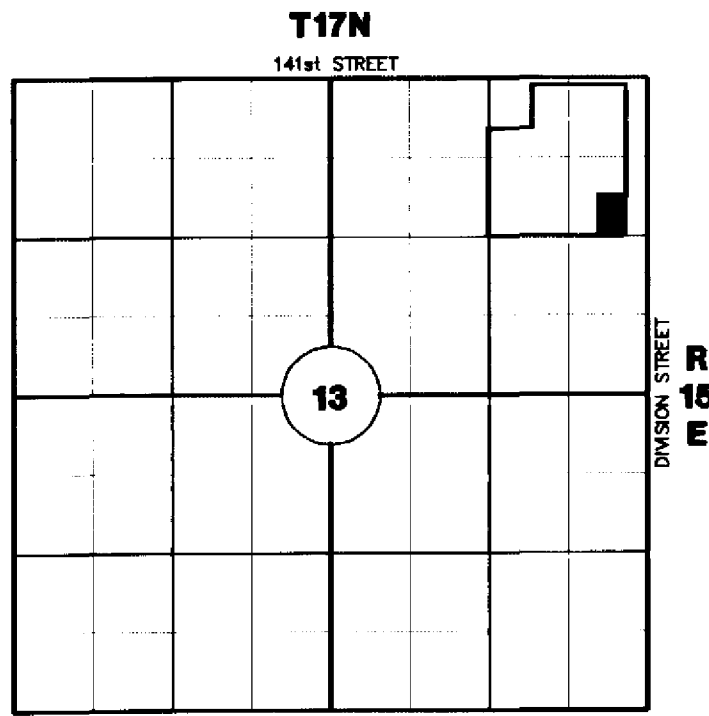
Notice of Public Hearing
Building Schematic (Proposed)
Subdivision Plat
Site Plan
Aerial Map
Area Map
Zoning Map

DRAWN BY: B. BREWER DATE: 02/20/01
CHECKED BY: R. ENTZ FILE NAME: W0377BE

**FINAL
PLAT
OF
CARRIAGE CROSSING ESTATES 'A'**
**A REPLAT OF BLOCK 6
OF CARRIAGE CROSSING ESTATES
IN SECTION 13, T17N, R15E, IB&M
TO THE CITY OF COWETA
WAGONER COUNTY, OKLAHOMA**

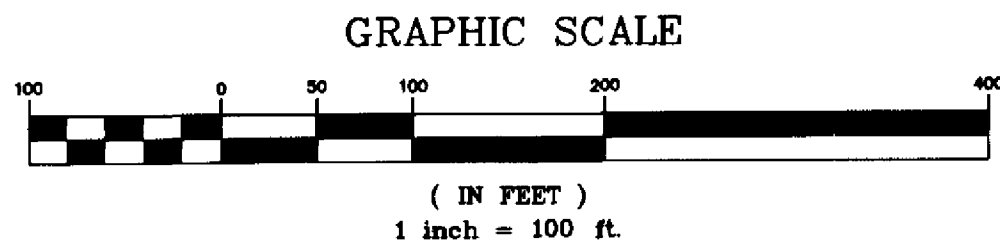
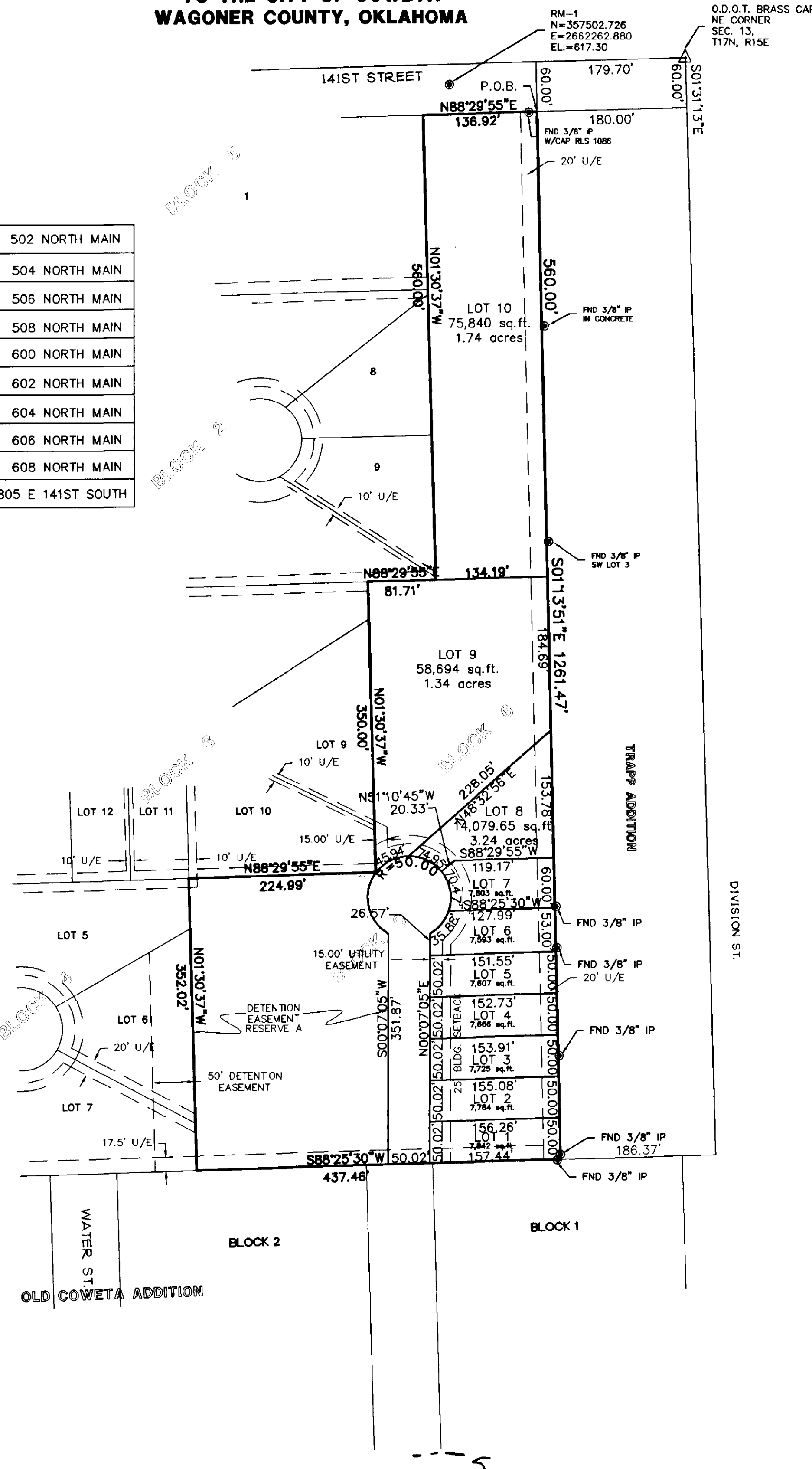
RESTRICTIVE COVENANT

- All lots shall be used for residential use only except Block 5
- All single family residences of one story in height shall have a minimum of 700 square feet of living area. All single family residences of one and one-half story or two story, shall have a minimum of 650 square feet on the first floor, with a minimum of 700 square feet on both floors. All square footage requirements are exclusive of garages and porches and are figured on measurements over masonry of the living area.
- No building or part thereof, except open porches and terraces, shall be constructed and maintained on any lot nearer to the front property line than the building line shown on the recorded plat of said addition; and no residence, garage, carport, or accessory building shall be built nearer than five feet to any side lot line on one side and 5.0 feet on the other side, this requiring a combined total of 10.0 feet between any structure and both side lot lines. Where side lot easements are shown greater than the foregoing, no encroachment shall be allowed on the easement.
- No structure previously used or erected shall be moved onto any lot.
- No prefabricated, pre-assembled or modular dwelling or structures shall be placed, erected or permitted to remain in said addition, except one accessory building not to exceed 80 square feet.
- All exposed foundations shall be of brick or stone. No concrete blocks, poured concrete or any other foundation will be exposed. No stem walls will be exposed. A minimum of 30% of the exterior wall surface of any residence shall be of brick or stone construction.
- No fence, whether ornamental or otherwise, shall be constructed or allowed to remain in front of the minimum building set-back line or be greater than six (6) feet in height, except for privacy screening adjacent to patios which may be seven (7) feet in height.
- Trucks with tonnage in excess of 34 tons shall not be permitted to park in the streets and no vehicle of any size, which normally transports inflammatory, explosive, or health hazardous cargo, may be kept in this subdivision at any time. No vehicle shall be permitted to be parked or repaired in a front yard. No campers or other recreational vehicles shall be parked on or any closer to the street than the front of the residence for a period which exceeds forty-eight (48) hours. All inoperative vehicles shall be kept in an enclosed garage and shall not be parked in the front yard or in the street.
- No structure of a temporary character, trailer, basement, tent, shack, garage, barn, or other outbuilding shall be used on any lot at any time as a residence either temporarily or permanently.
- No building material of any kind or character shall be placed or stored upon any lot for a period greater than thirty (30) days prior to the start of any construction, and at no time shall such material be placed outside the boundaries of the lot owner's ownership. The construction period of any residence, garage, carport, or accessory building shall be completed within nine (9) months. During the construction period, each building site shall be kept orderly and it shall be the responsibility of the lot owner to ensure that all rubbish and construction litter is contained and properly disposed of.
- No sign of any kind shall be displayed to the public view on any lot except one professional sign of not more than five (5) square feet advertising the property for sale, trade or loan, except those signs used by a builder of not more than thirty (30) square feet to advertise property during the construction and sales period and those used by the developer.
- No animals, livestock, or poultry of any kind shall be raised, bred or kept on any lot except that dogs, cats, or other household pets may be kept, provided that they are not kept, bred or maintained for any commercial purposes.
- No trash, ashes, or any other refuse, shall be placed in the open in the subdivision, or along any street therein or adjacent thereof, nor shall any trash or refuse receptacle be constructed or placed in such a manner that it can be seen from the street or adjacent properties. Any such receptacle shall be covered in such a manner to prevent the escape of noxious odors and prevent entrance and/or exit of insect or animal life. Grass, weeds and vegetation on each lot sold shall be kept mowed at regular intervals so as to maintain the same in a neat and attractive manner. Trees, shrubs, vines or plants which die shall be removed from the property.
- Street light poles or standards may be served by underground cable and elsewhere throughout said Addition all supply lines shall be located underground in the easement-ways reserved for general utility services and streets shown on the attached plat. Service pedestals and transformers, as sources of supply at secondary voltages, may also be located in said easement-ways.
- Underground service cables to all houses which may be located on all lots in said Addition may be run from the nearest service pedestal or transformer to the point of usage determined by the location and construction of such house as may be located upon each said lot; provided that upon the installation of such a service cable to a particular house, the supplier of electric service shall thereafter be deemed to have a definitive, permanent, effective and exclusive right-of-way easement on said lot, covering a five-foot strip extending 2.5 feet on each side of such service cable, extending from the service pedestal of transformer to the service entrance on said house.
- The supplier of electric and gas service, through its proper agents and employees shall at all times have right of access to all such easement-ways shown on said plat, or provided for in this Deed of Dedication for the purpose of installing, maintaining, removing or replacing any portion of said underground electric and gas facilities so installed by them.
- The owner of each lot shall be responsible for the protection of the underground electric and gas facilities located on his property and shall prevent the alteration of grade or any construction activity which may interfere with said facilities. Each company will be responsible for ordinary maintenance of underground electric and gas facilities, but the owner will pay for damage or relocation of such facilities caused or necessitated by acts of the owner or his agents or contractors.
- The foregoing covenants concerning underground electric and gas facilities shall be enforceable by the supplier of said services, and the owner of each lot agrees to be bound hereby.



**LOCATION MAP
N.T.S.**

LOT 1	502 NORTH MAIN
LOT 2	504 NORTH MAIN
LOT 3	506 NORTH MAIN
LOT 4	508 NORTH MAIN
LOT 5	600 NORTH MAIN
LOT 6	602 NORTH MAIN
LOT 7	604 NORTH MAIN
LOT 8	606 NORTH MAIN
LOT 9	608 NORTH MAIN
LOT 10	28805 E 141ST SOUTH



HORIZONTAL DATUM IS BASED ON NAD 83(93) OKLAHOMA
STATE PLANE COORDINATE SYSTEM, NORTH ZONE.
VERTICAL DATUM IS BASED ON NGVD 88.
SCALE FACTOR: 0.9999410

OWNER'S CERTIFICATE AND DEDICATION

STATE OF OKLAHOMA)
COUNTY OF WAGONER)

KNOW ALL MEN BY THESE PRESENTS, that We, R & M Investments, Inc. a corporation hereby certify that We are the Owners of the and the persons having any right, title or interests to the following described tract of land, to-wit:

A Subdivision of Lot 1, Block 6, Carriage Crossing Estates, City of Coweta, Wagoner County, State of Oklahoma. Containing 7.01 acres, more or less.

We further certify that we have caused said tract of land to be replatted into lots and have caused this plat to be made of said tract showing accurate dimension of lots and streets. I hereby designate said tract of land as CARRIAGE CROSSING ESTATES "A" and dedicate to public use all streets and utility easements as shown hereon.

H. E. Reynolds, President
Arvil Morgan, Vice President

STATE OF OKLAHOMA
COUNTY OF WAGONER

Before me, the undersigned, a notary public in and for the County of Wagoner, State of Oklahoma, personally appeared H. E. Reynolds, to me known to be the identical person who executed the foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed for the purpose set forth.

WITNESS my hand and seal this 11th day of May, 2001.

Notary Public

My Commission expires: 3-3-2005

CERTIFICATE OF SURVEY

KNOW ALL MEN BY THESE PRESENTS, that I, Roy Entz, a resident of Muskogee County, State of Oklahoma, do hereby certify that I have carefully and accurately surveyed and replatted into lots the above described property and that this plat is a true and correct representation thereof, I further certify that this plat meets the minimum standards for the practice of land surveying.

WITNESS my hand and seal this 11th day of May, 2001.

Roy Entz, Land Surveyor 319
C.A. #535 expires 6/30/01

STATE OF OKLAHOMA
COUNTY OF MUSKOGEE

Before me, the undersigned, a notary public in and for the County of Muskogee, State of Oklahoma, personally appeared Roy Entz to me known to be the identical person who executed the foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed for the purpose therein set forth.

WITNESS my hand and seal this 6th day of April, 2001.

Notary Public

My Commission expires: 4-14-02

TREASURER'S CERTIFICATE

I hereby certify that as to all real estate involved in the plat, all taxes have been paid for 2000 as reflected by the current tax roll and that there are no taxes due for prior years, and security has been provided for 2001 taxes not as yet certified to me.

Mary Sue Suddens
County Treasurer

CERTIFICATE OF COUNTY CLERK

This plat has been filed in the office of the County Clerk, Wagoner County, Oklahoma, this 10th day of May, 2001. Book _____ Page _____

Jerry Fields
County Clerk

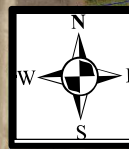
APPROVED: City of Coweta

Date 4-2-01

Mayor

City Clerk

CBOA 22-04 SPECIAL EXCEPTION SECTION 240.2 (e) (5)



15E17N12

16E17N7

141st

292nd East

293rd East

State Highway 51

SUBJECT PROPERTY

Dogwood

Dogwood

Dogwood

Bixby

Redwood

Redwood

Redwood

15E17N13

16E17N18

Magnolia

Magnolia

Division

Bristow

Bristow

Birch

Birch

Atoka

Oak

Main

Broadway

Delaware

CBOA 22-04 SPECIAL EXCEPTION SECTION 240.2 (e) (5)



15E17N12

Country Village IV

Country Village

287th

141st

16E17N7

Albert Claxton Add.

QuikTrip No. 70

State Highway 51

Johnson Addition I

Bixby

Dogwood

SUBJECT PROPERTY

Trapp Addition

Carriage Crossing Estates

Redwood

15E17N13

Magnolia

Carriage Crossing "A"

Dogwood

Orcutt

Bristow

Orcutt Addition

Redwood

16E17N18

Magnolia

Orcutt

Birch

Atoka

Birch

Bristow

Broadway

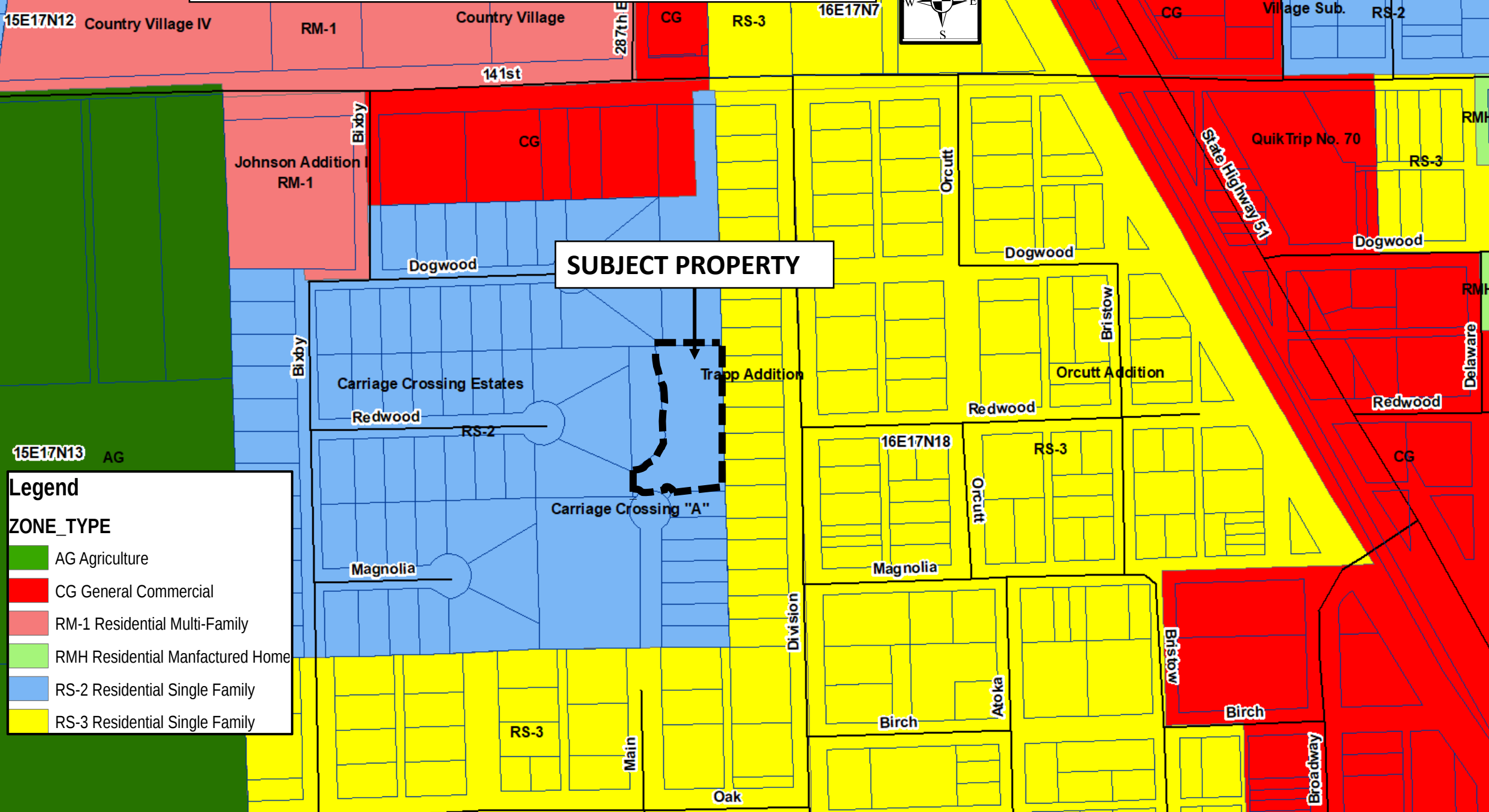
Main

Oak

Division

Delaware

CBOA 22-04 SPECIAL EXCEPTION SECTION 240.2 (e) (5)



SUBJECT PROPERTY

Legend

ZONE_TYPE

- AG Agriculture
- CG General Commercial
- RM-1 Residential Multi-Family
- RMH Residential Manufactured Home
- RS-2 Residential Single Family
- RS-3 Residential Single Family

THIS TRACT IS IN FLOOD ZONE A3 THAT HAS BEEN CHANNELIZED AND REVISED TO REFLECT
LETTER OF MAP REVISION DATED MARCH 10,2000 OF F.I.R.M. 400216 0001A

S 88°29'55"W 153.86'

BUYER : SERGEUI AND NATALYA BORISSENKA
606 NORTH MAIN STREET
COWETA, OKLAHOMA 74429

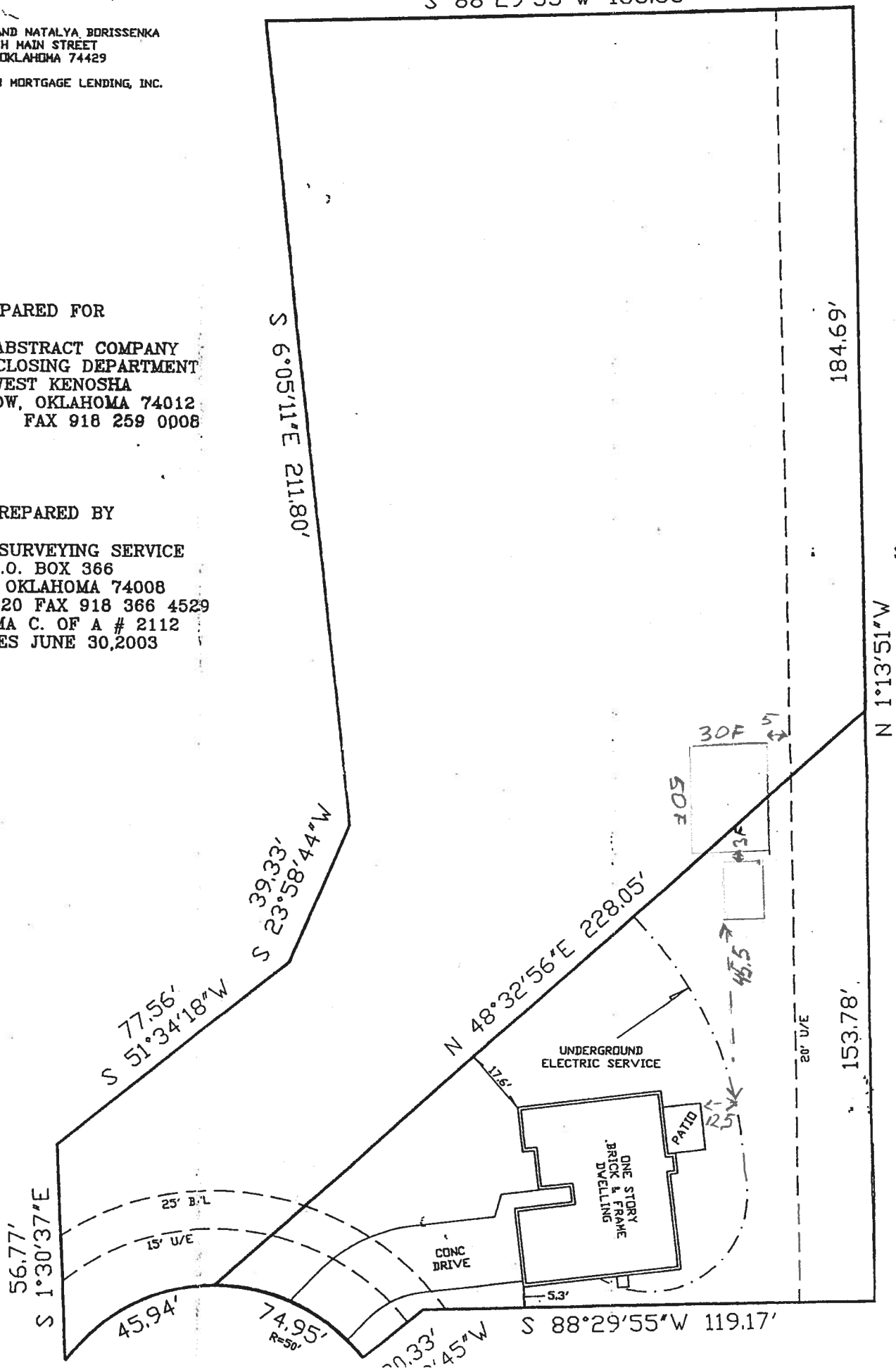
LENDER : AMERICAN MORTGAGE LENDING, INC.

PREPARED FOR

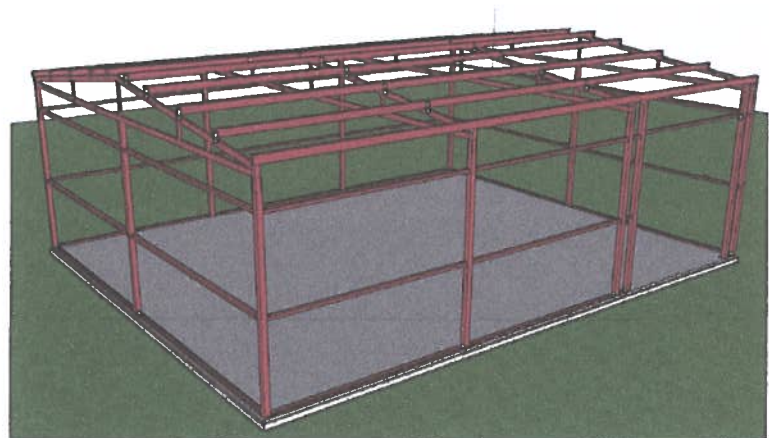
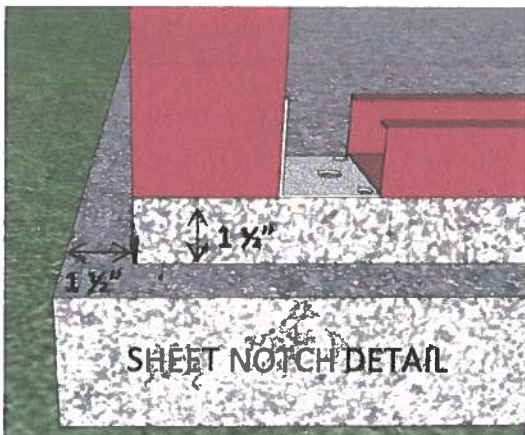
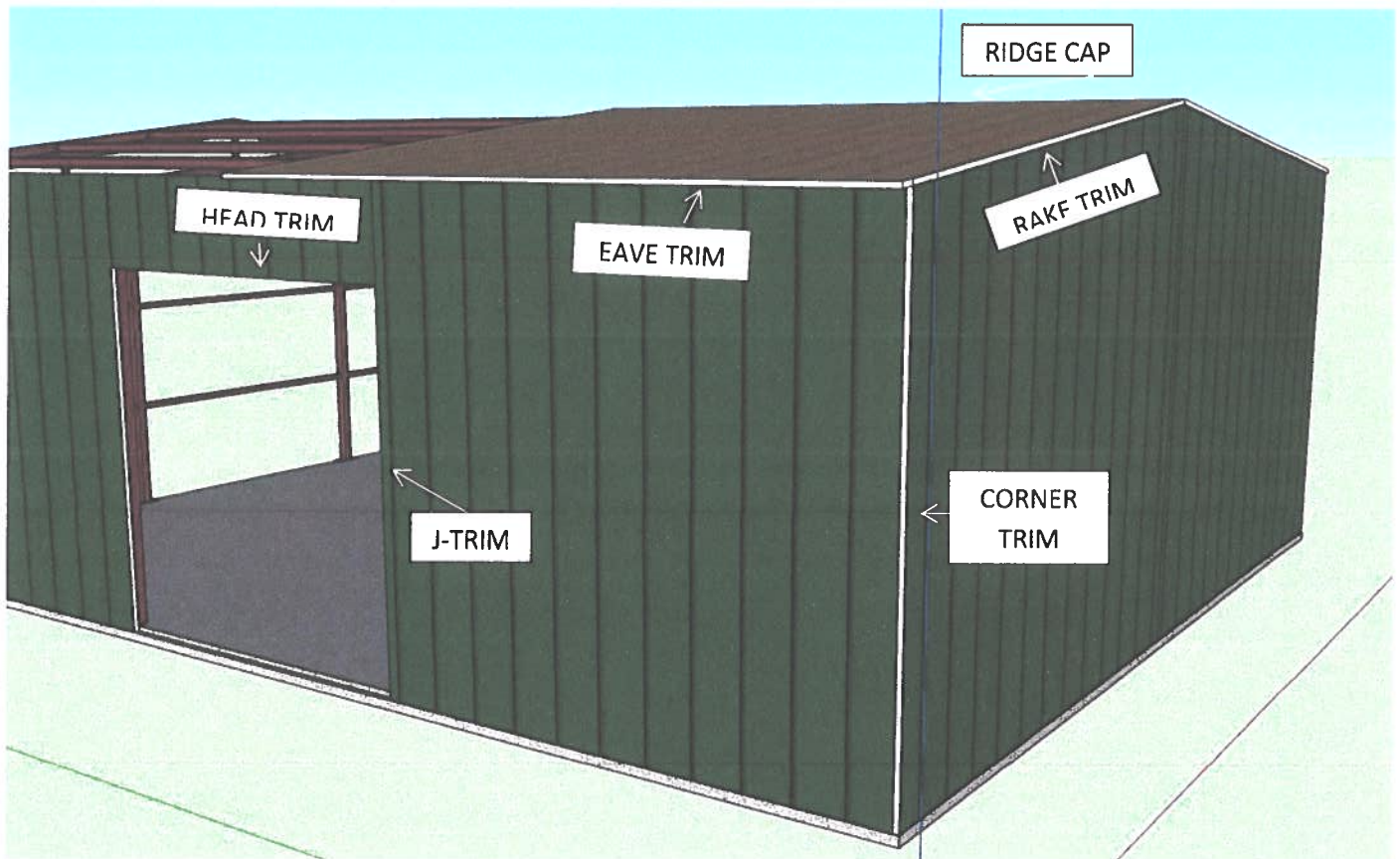
GUARANTY ABSTRACT COMPANY
RESIDENTIAL CLOSING DEPARTMENT
2604 WEST KENOSHA
BROKEN ARROW, OKLAHOMA 74012
918 259 0000 FAX 918 259 0008

PREPARED BY

RAMSEY SURVEYING SERVICE
P.O. BOX 366
BIXBY, OKLAHOMA 74008
918 366 4520 FAX 918 366 4529
OKLAHOMA C. OF A # 2112
EXPIRES JUNE 30,2003



SCALE



Bright White

Polar White

Beige

Lightstone

Sahara Tan

Desert Beige

Emerald Green

Hawaiian Blue

Royal Blue

Patriot Red

Country Red

Burgundy

Cocoa Brown

Copper Metallic

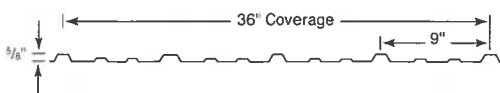
Steel Siding and Roofing produced by



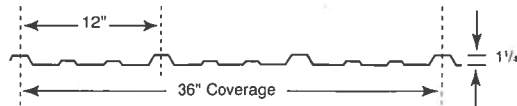
Springfield, MO
(417) 862-5291

Muskogee, OK
(918) 682-1083

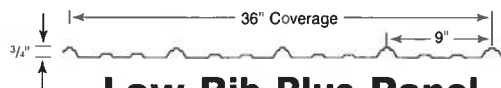
Rogers, AR
(479) 986-8736



Low-Rib Panel



R-Panel



Low-Rib Plus Panel

40
YEAR
PAINT WARRANTY

AkzoNobel

Ash Gray

Clay

Charcoal

Burnished Slate

Ebony Black



These colors are
only and may vary
actual material.
chips are available

Wheeler Metals

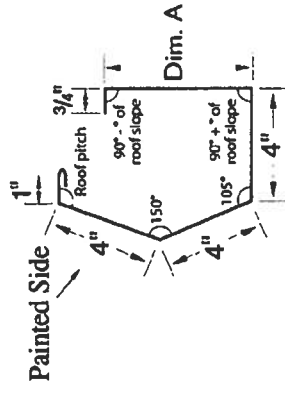
Springfield, MO
(417)862-5291

Muskogee, OK
(918)682-1083

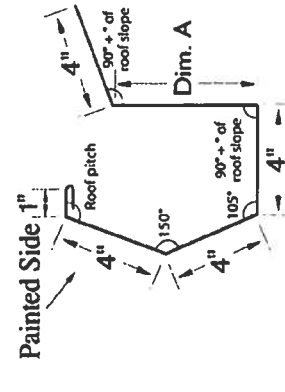
Rogers, AR
(479)986-8736

GUTTERS

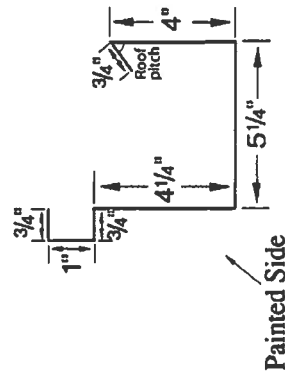
STANDARD GUTTER



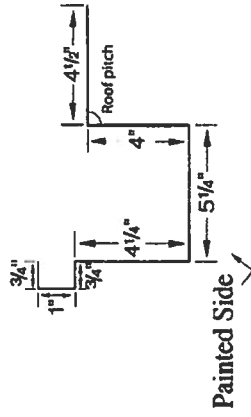
SCULPTURED GUTTER



BOX HANG-ON GUTTER



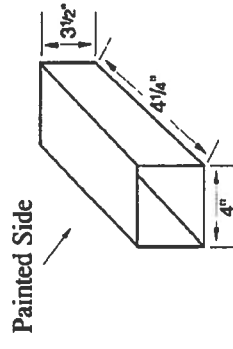
BOX EAVE GUTTER



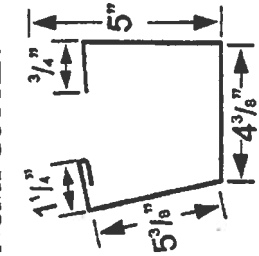
GUTTER STRAP



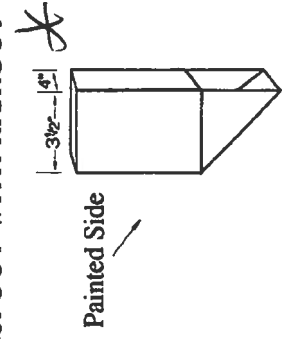
DOWNSPOUT W/O KICKOUT



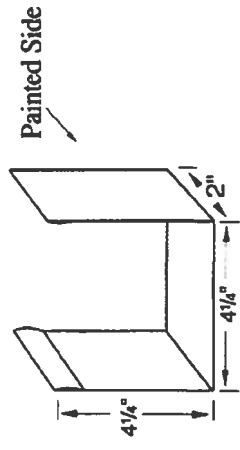
ECONOMY GUTTER



DOWNSPOUT WITH KICKOUT

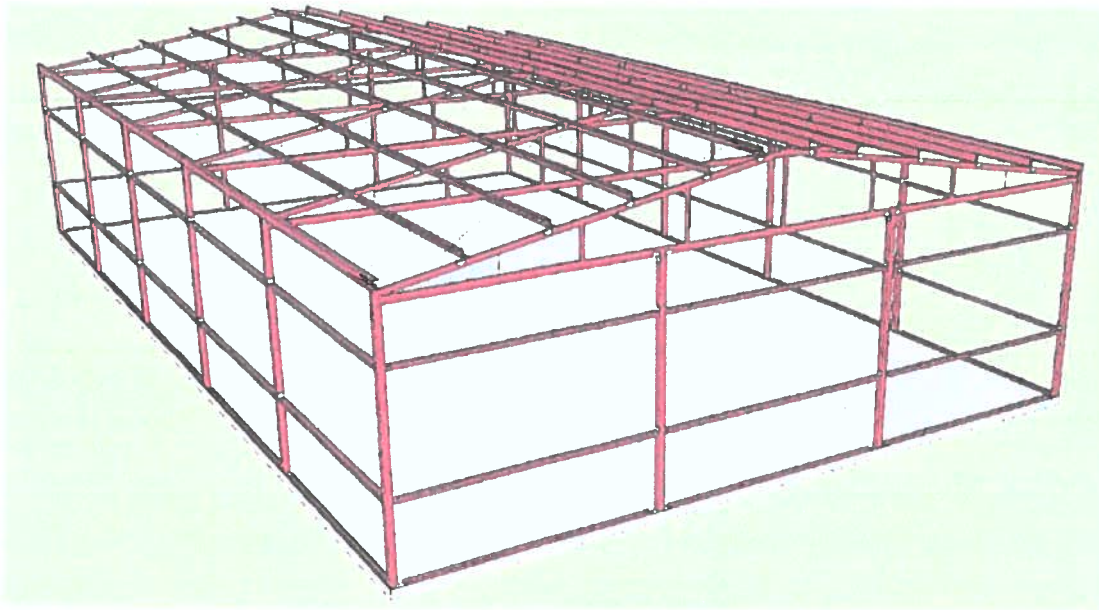


DOWNSPOUT STRAP





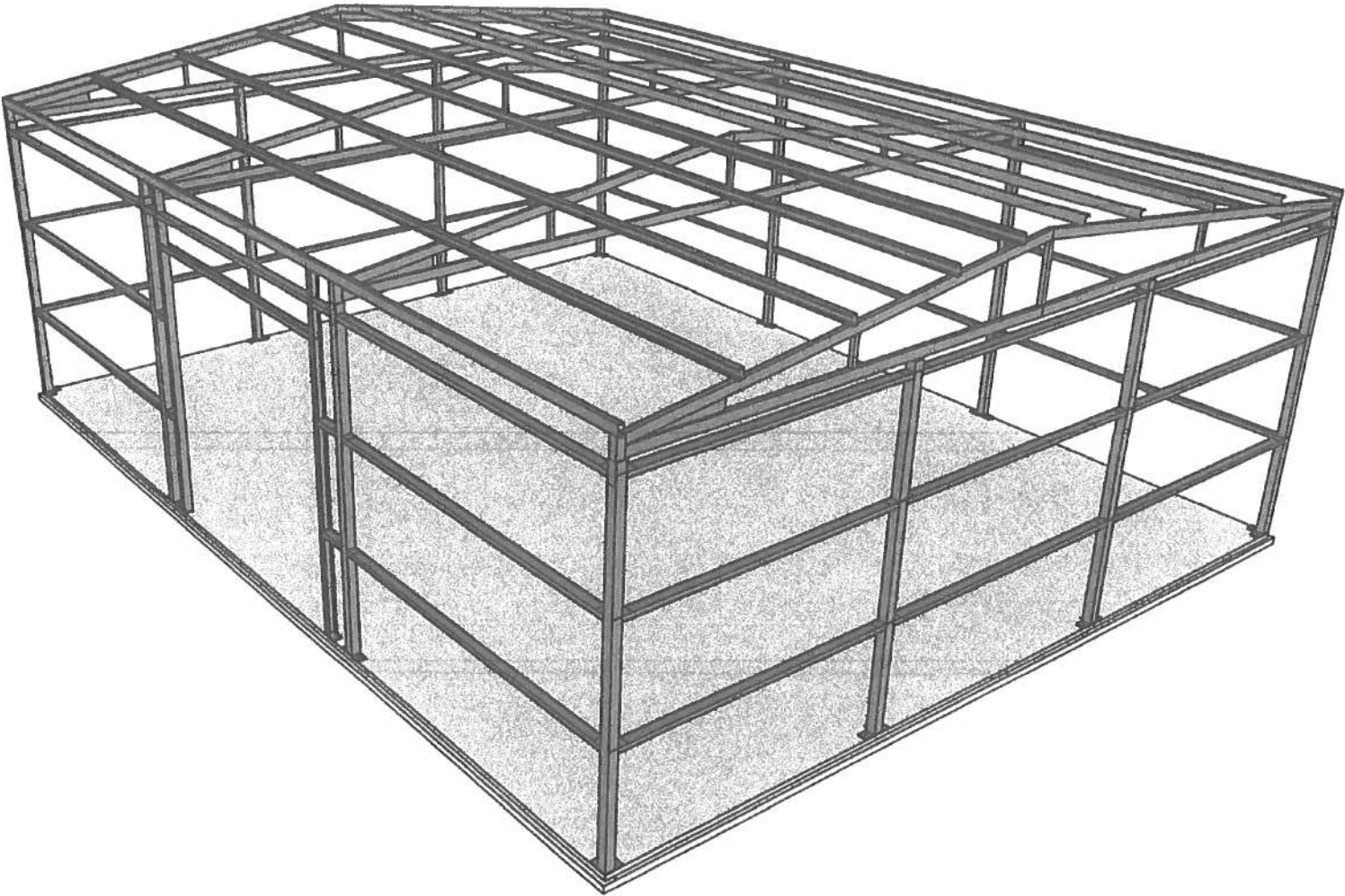
EZ TRUSS STYLE KITS



30x50

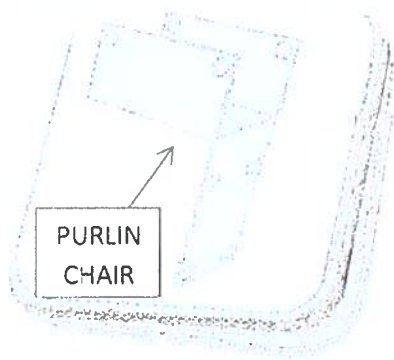
-NON ENGINEERED-

WELD UP, SCREW TOGETHER BUILDING PACKAGES

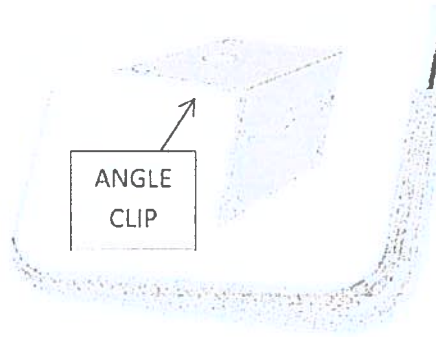




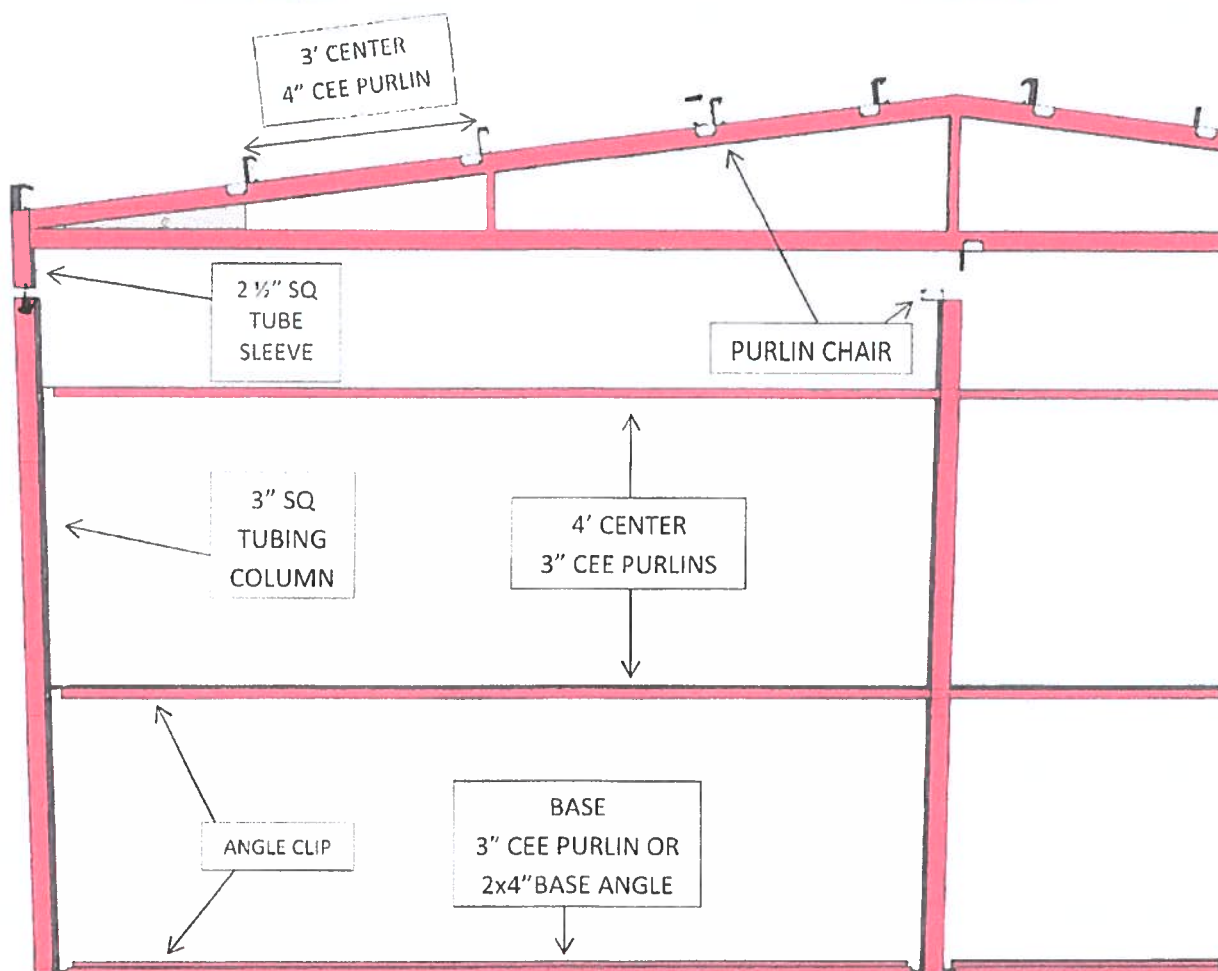
TRUSS STYLE BUILDING
WELD UP OR SCREW TOGETHER KITS

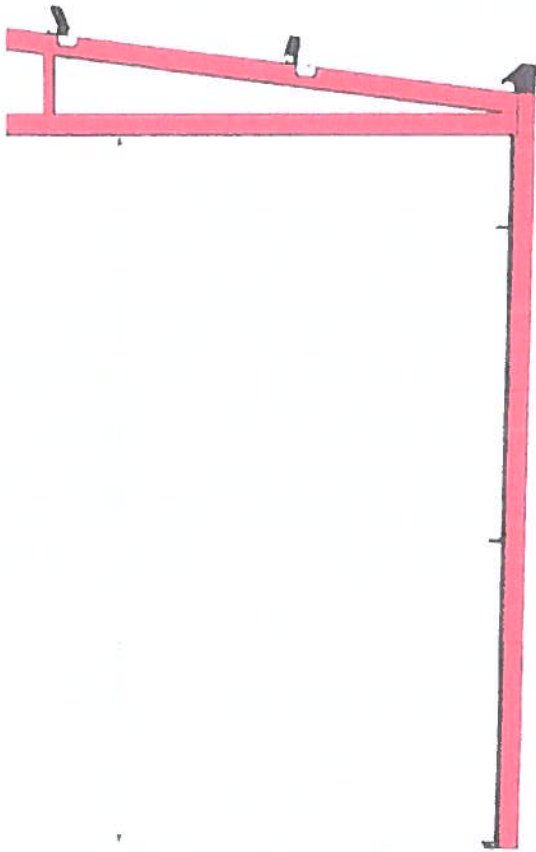


PURLIN
CHAIR



ANGLE
CLIP



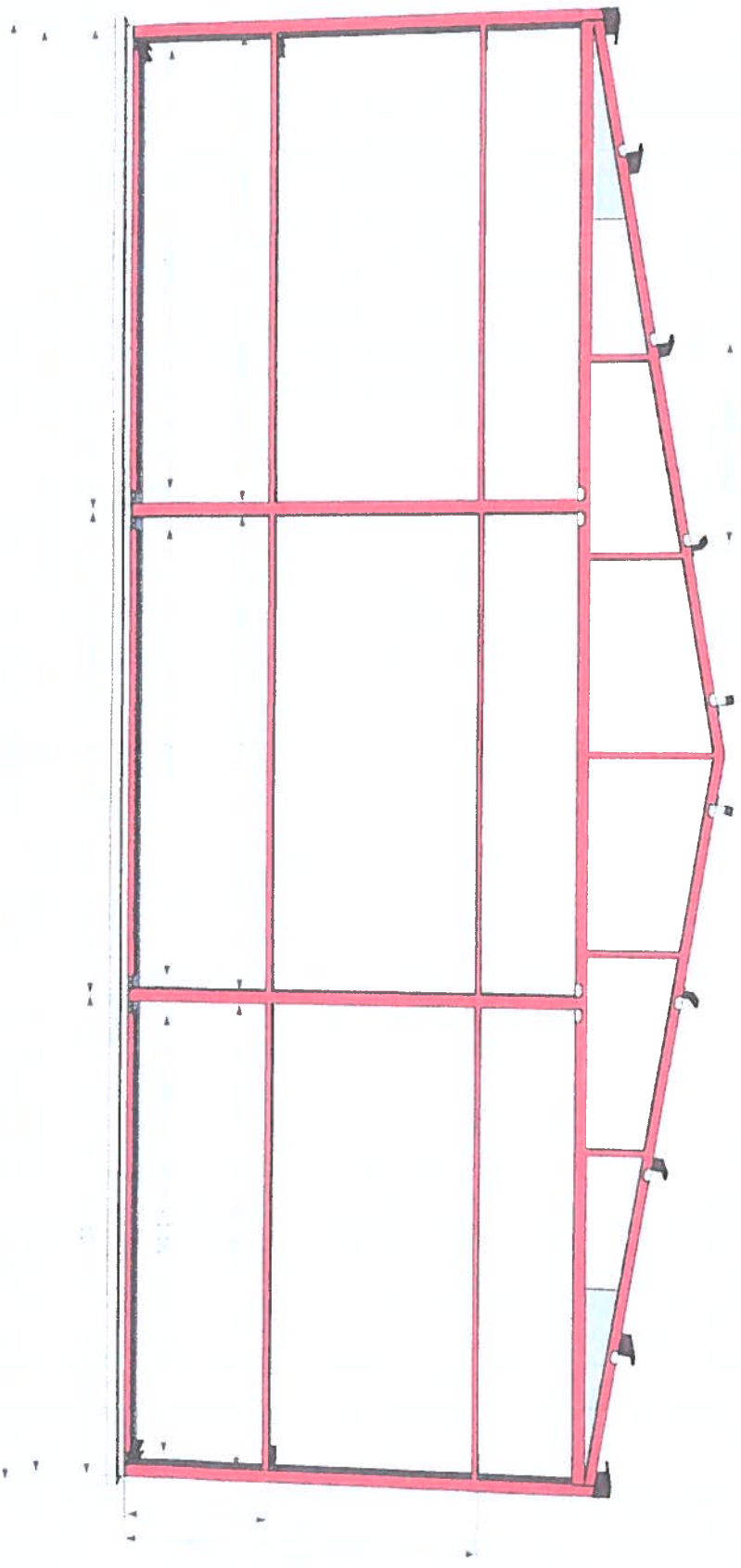


TRUSS STYLE POST CUT DIAGRAM

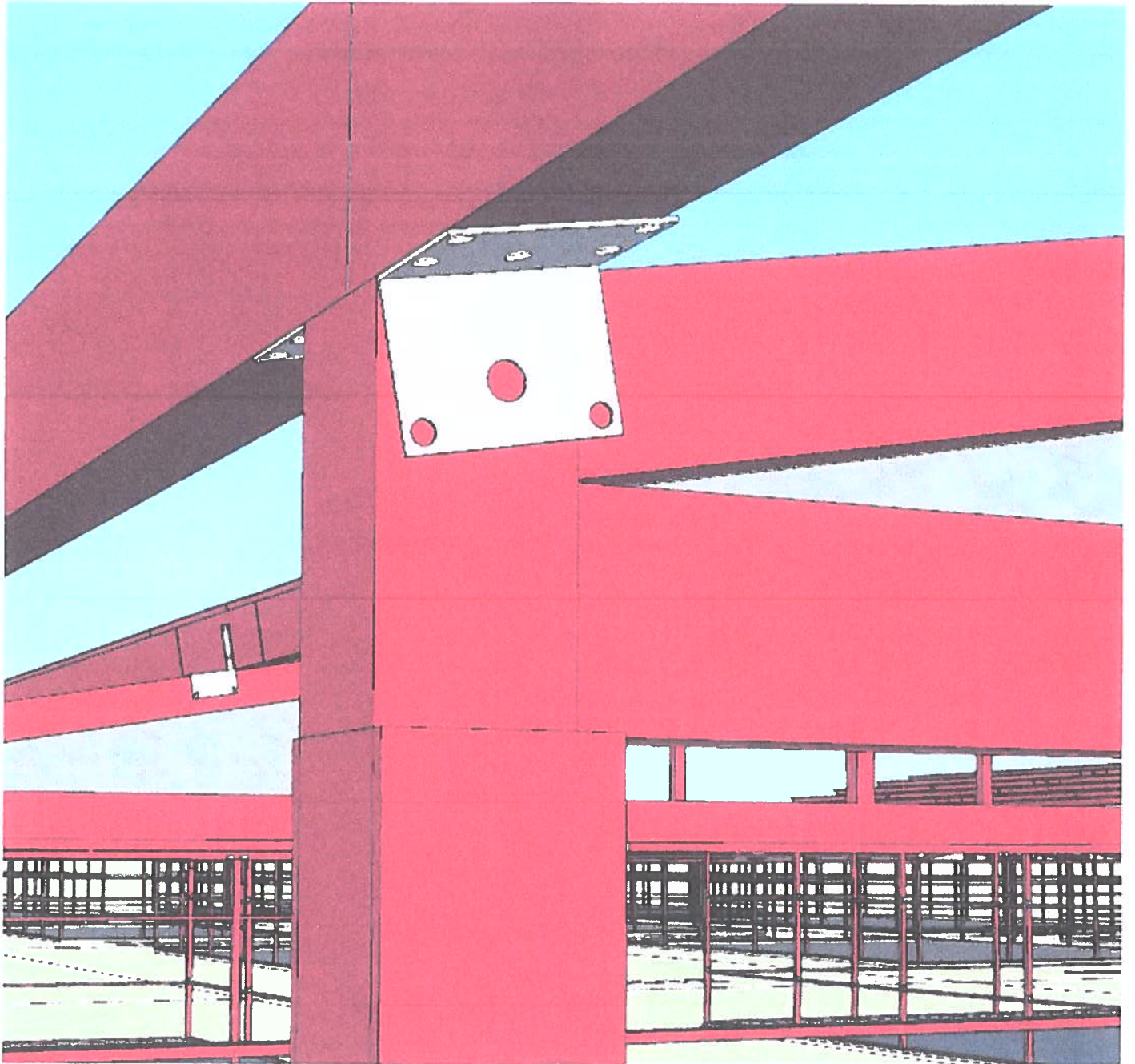
10' WALLS – TO CUT POSTS AT 9'2"

→ 12' WALLS – TO CUT POSTS AT 11'2"

NOTE: THESE DIMENSIONS ARE BASED OFF OF FINISHED FLOOR



30' TRUSS





BASE PLATE DETAILS

CAST IN CONCRETE WELD PLATES



OR

WELD ON BASE PLATES

